



January 21, 2026

Grand Panama Beach Resort Owners' Association
11800 Front Beach Road
Panama City Beach, FL 32407

Attention: Lindsay Williams, CAM

Project: **Grand Panama Beach Resort - Column and Skybridge Restoration**

Regarding: **Bid Tabulation and Recommendations**

Ms. Williams:

On behalf of the Association, BECE conducted an in-person Pre-Bid Meeting on December 16, 2025 and solicited the procurement of bids from five (5) separate contractors. The purpose of this letter is to provide the Association with a tabulation of the bids recently received for the Column and Skybridge Restoration project, along with our recommendations for the proposed work and further analysis of the bids.

On January 15, 2026, BECE received timely bids from the five contractors invited to the Pre-Bid Meeting. All bids were delivered directly to the Association to the attention of Lindsay Williams, CAM, while copies of the bids were emailed to BECE.

The attached bid tabulation sheet summarizes the bids that we received. For a full and complete description of each bid item, please refer to our Bid Proposal Form (Section 00300 of the Project Manual). Our Bid Form included (2) two Base Bids and (4) four individual unit costs (including hourly unit costs for skilled and unskilled labor) to help provide the Association with detailed cost data for the project.

The Bid Form also included separate costs for a Payment and Performance Bond, as well as an Estimated Time of Completion. The Payment and Performance Bond is not included within the submitted price for either Base Bid. It is the Association's choice to accept or decline the bond.

Although we do not anticipate any major unforeseen conditions, restoration work always has some level of uncertainty. For this reason, we recommend that the Association budgets a contingency fund for this project. This contingency fund will account for any unforeseen conditions that may arise during the project. Based on our experience with restoration projects and the size of this project, we recommend a contingency of approximately twenty percent (20%) of the Total Contract Value. The contingency should not be added to the Contract cost but should be available for the Association's use during the project, should it become necessary.

The time of completion section reflects the number of calendar days each contractor indicates it will take to complete Base Bid Nos. 1 and 2. The durations submitted provide the Association a gauge for the time frame that they should anticipate the work taking for each contractor. Seashore Construction, Inc. provided a start date as early as February 2026, as opposed to Southern Wall Systems providing a start date of 30 days after a signed contract or 1 week after receipt of permits. Both C-Sharpe and Suncoast Restoration and Waterproofing, LLC provided start dates in August of 2026. We recommend negotiating time limits, starting dates, and incorporating a penalty clause into the successful bidder's contract once the Association has selected which scope items to move forward with.

Based on the submitted information, it is our opinion that all bidders can perform the scope of work and are priced relatively competitively, with Suncoast Restoration & Waterproofing, LLC and C-Sharpe Co., LLC being an outliers. It should also be that Valcourt Building Services of Florida, LC did not submit a bid for Base Bid No. 2 - Skybridge Restoration. Seashore Construction, Inc. and Southern Wall Systems II, LLC are the most competitive bidders for the project. Currently, Seashore Construction, Inc. has the lowest competitive combined base bid of \$909,270.00. Southern Wall Systems II, LLC's bid duration is the lowest of all the bidders at a combined 73 days. In comparison of the two (2) most competitive bids, there is approximately a 16% variance between the lowest competitive base bid (Seashore Construction, Inc.) and the highest competitive base bid (Southern Wall Systems II, LLC).

BECI recommends that the Association analyze the bids carefully and determine which duration is most acceptable. It is recommended that project cost as well as duration be reviewed. We also recommend that the Association establish a budget of approximately **\$1,173,449.00** for the project. This cost includes the cost of the lowest competitive bid (\$909,270.00), a 20% contingency, and BECI's Services for Pre-Construction (\$7,500.00), Contract Administration (\$66,825.00, based on Seashore's duration of 230 days or 33 weeks at \$2,025.00/wk), and Post-Construction (\$8,000.00). *It should be noted that BECI's contract with the Association provided an assumed duration of 16-weeks and not the 33 weeks bid by Seashore.*

In closing, the bids shall remain subject to acceptance or rejection for the period of sixty (60) calendar days from the date the bids were submitted. However, if the goal is to start the project in August, it would be necessary to execute a Contract with the selected Contractor, or at a minimum provide them with a Notice to Proceed, no later than May 31, 2026. As stated above, we recommend that consideration be given to interviewing bidders that are of interest to the Association to negotiate time limits, start dates, and penalty clauses.

Should you have questions or wish to discuss any part of the bid or the bid tabulation in detail, please contact our Destin office.

Respectfully Submitted,
BECI



Gordon Porter, REWO, FAA sUAS
Senior Project Manager I

Attachment: Bid Tabulation Spreadsheet (1 Page).

			Seashore Construction, Inc.	Southern Wall Systems II, LLC	Valcourt Exterior Building Services of Florida, LC	C-Sharpe Co., LLC	Suncoast Restoration & Waterproofing, LLC
Base Bid							
1	Base Bid No. 1: Column Restoration		\$587,170.00	\$580,390.00	\$761,864.00	\$782,427.00	\$1,097,670.00
2	Base Bid No. 2: Skybridge Restoration		\$322,100.00	\$484,741.00	No Bid	\$835,632.00	\$739,450.00
	Base Bid Total		\$909,270.00	\$1,065,131.00	\$761,864.00	\$1,618,059.00	\$1,837,120.00
Bond							
1	Payment & Performance Bond	%	1.75%	1.50%	1.25%	1.30%	1.50%
Unit Costs							
1	Remove and Replace Deteriorated Light-Gauge Metal Framing	LF	\$7.50	\$7.84	\$14.50	\$18.00	\$25.50
2	Prepare and Treat Corroded Light-Gauge Metal Framing	LF	\$9.00	\$4.05	\$13.00	\$10.00	\$23.00
3	Repair Corroded Steel "L" Angle Framing Members	LF	\$25.00	\$97.87	No Bid	\$45.00	\$160.00
4	Vertical Partial Depth Concrete Repairs	SF	\$75.00	\$154.35	No Bid	\$145.00	\$120.00
	Time and Material						
	For Skilled Labor	HR	\$78.00	\$55.00	\$85.00	\$75.00	\$55.00
	For Unskilled Labor	HR	\$65.00	\$46.00	\$85.00	\$60.00	\$45.00
	Contractor Mark-up	%	20%	15%	30%	20%	20%
Time of Completion							
1	For Base Bid No. 1	DAYS	170	40	90	95	135
2	For Base Bid No. 2	DAYS	60	33	No Bid	95	100
	Date BIDDER can proceed with a Full Crew & Equipment to Commence Mobilization	DATE	Feb-2026	30 Days After Signed Contract or 1 Week After Permit	Within 45 Days	Aug-2026	08/17/26
	Date BIDDER can procure all necessary materials on-site with a Full Crew and Equipment to commence installation	DATE	Feb-2026	30 Days After Signed Contract or 1 Week After Permit	Within 45 Days	Aug-2026	08/24/26



January 13, 2026

ADDENDUM NO. 2

**RE: Grand Panama Beach Resort
Column and Skybridge Restoration 2026
Panama City Beach, FL**

**FROM: BECI
Destin, Florida**

TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Procurement Documents issued December 16, 2025. Acknowledge receipt of this Addendum in the space provided on the Bid Form *and return the completed Addendum with the modified Bid Form*. Failure to do so may subject Bidder to disqualification.

This Addendum is being issued electronically and consists of two (2) pages and the modified Section 00300 – Bid Proposal Form consisting of ten (10) pages.

CHANGES TO SCOPE OF WORK

Section 00300 – Bid Proposal Form shall be modified as follows:

BASE BID NO. 1 – COLUMN RESTORATION

1.

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

2.

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

3. **3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS**

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ _____._____/LF

END OF ADDENDUM NO. 2

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

SECTION 00300 - BID PROPOSAL FORM

ISSUE DATE: 12/16/2025

PROJECT: GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407

OWNER: GRAND PANAMA BEACH RESORT OWNER'S ASSOCIATION, INC.
BID TO: C/O: LINDSAY WILLIAMS, CAM
(E-mail) 11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407
E-mail: Lindsay.williams@fsresidential.com

COPY TO: GORDON PORTER, REWO, FAA sUAS
(E-mail) BECI
1732 W COUNTY HWY 30A
SANTA ROSA BEACH, FLORIDA 32459
E-mail: gporter@be-ci.com
cc: Chase McInnis; cmcinnis@be-ci.com, BECI Admin; admin@be-ci.com

BID DUE DATE: JANUARY 15, 2026 @ 10:00 AM CT

BID FROM: Bidder's Name: _____

Address: _____

Telephone No: (____) _____

Facsimile No: (____) _____

Florida Contractor License No: _____

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.00 GENERAL

1.01 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an agreement with the OWNER, in the form stipulated in the Bidding Documents, to perform and furnish the work pursuant to the Bidding Documents for the bid price and within the bid times indicated in this Bid and pursuant to the other terms and conditions of the Contract Documents.

A. The bid price and other prices, as indicated in this bid, shall include the total price for overhead and profit, labor, equipment, all taxes, insurance, permits, and incidentals required to perform the work.

1.02 In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:

A. This Bid will remain subject to acceptance for sixty (60) calendar days after the day of bid opening.

B. The Owner has the right to accept or reject this Bid for a period of sixty (60) calendar days after the day of Bid opening.

C. BIDDER will sign and submit the Agreement with the performance and payment bond, and other documents stated in the Bidding Requirements within seven (7) days after the date of OWNER'S Notice of Award and the Contract has been executed.

D. BIDDER has examined copies of all Bidding Documents.

E. BIDDER has visited the site and become familiar with the general, local, and site conditions.

F. BIDDER is familiar with federal, state, and local laws and regulations.

G. The successful BIDDER shall be required to attend the pre-construction conference, at which time all submittals required by the Contract Documents shall be presented and reviewed for approval.

H. BIDDER has received the following Addenda receipt of which is hereby acknowledged:

DATE	NUMBER
_____	_____
_____	_____
_____	_____

1.03 Questions regarding the Bidding Documents shall be directed in writing to BECI:

Attention: Mr. Gordon Porter, REWO
Email: gporter@be-ci.com

Copy: BECI Design Department
Email: design@be-ci.com

**GRAND PANAMA BEACH RESORT
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SECTION 00300 - BID PROPOSAL FORM**

1.04 Questions regarding the Bidding Documents may not be answered if received less than 48 hours prior to time and date established for receipt of bids.

2.00 SCOPE OF WORK

- A. BIDDER will complete the work for the Base Bid described herein pursuant to the Contract Documents for the LUMP SUM BID PRICE stipulated herein. BIDDER must also submit a price for the unit costs as well. The quantity allowance indicated for certain work activity, where an allowance is referenced below, will be audited as the work progresses and the Contract will be adjusted up or down based on the actual quantity used and its corresponding unit cost pricing. Quantities enumerated are not allowances and must be verified by the Bidder for accuracy and correctness.
- B. Provide all permits, licenses, and fees including, but not limited to, permit fees, licensing fees, and plan review fees, as well as compliance with all regulatory ordinances and inspections that are required to perform proposed work.
- C. Provide all necessary insurance including Florida Workman's Compensation and general liability insurance. List the **Owner and Engineer** as an additional insured party to the policy with a 30-day notice of any changes or cancellations to the policy.
- D. Provide all safety barriers and enforce all OSHA rules concerning construction and project safety. Provide all tools and equipment (i.e. cranes, material hoist and scaffolding) required to properly perform the work. Protect surrounding areas and existing areas within the property not included in construction along with daily cleanup of all debris.
- E. Contractors are responsible for surveying all surrounding work areas and reporting any pre-existing damage to the Owner in writing prior to commencing work. Provide all selective demolition as outlined in Section 01732 of the Technical Specifications.
- F. **Contractor shall be responsible for providing a weather tight seal at all openings at the end of each workday, as well as during all inclement weather, without exception.** Any damage caused as a result of the Contractor's failure to seal the openings shall be corrected to its original condition by the Contractor at no additional charge to Owner.
- G. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and removed as necessary to perform the scope of work. *NOTE: Owner's approval is required prior to the removal of any existing landscaping.*
- H. Contractor shall be responsible for protection of property, including all areas on-site, during the course of work. All damage caused by Contractor shall be repaired by Contractor, at his or her expense, to its original condition to the complete satisfaction of the Engineer and Owner
- I. **The Owner shall also be responsible for the following items during construction; however, these items in no way relieve the Contractor from their responsibility to protect the building components.** (1) The Owner shall be responsible for providing a laydown and staging area for the Contractor to place and store equipment and materials on-site. (2) Owner shall be responsible for removing all furniture from private balconies prior to work starting on the

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

balcony. If furniture is not removed, Contractor shall be responsible for covering furniture with a drop cloth, however the Contractor shall not be held responsible for damages to furniture not removed.

- J. Upon completion of the work, the Contractor is to clean and remove all equipment, materials, and trash from the entire property. The Contractor shall, at no additional cost to the Owner, restore any damage to sod, shrubs, or pavement caused by the Contractor, to the complete satisfaction of the Engineer and Owner.

2.01 BASE BID NO. 1: COLUMN RESTORATION

The following is a breakdown of the scope of work pertaining to the exterior restoration at the columns of the Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02. The column restoration project shall include the following:

- a. Removal of existing stucco cladding and sheathing down to the existing light gauge metal framing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- e. Installation of new drainable EIFS cladding with high-impact reinforcing mesh at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- f. Application of new acrylic coatings at vertical surfaces of the new clad columns.

Table 1 - Allowances

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
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Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

**SUBTOTAL BID OF \$ _____ for Base Bid No. 1;
AND _____ /100 Dollars**

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2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances.

**GRAND PANAMA BEACH RESORT
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- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

**SUBTOTAL BID OF \$ _____ for Base Bid No. 2;
AND _____ /100 Dollars**

3.00 UNIT COSTS

It shall be understood the Unit Costs quoted herein will be used to adjust the Contract Allowances within the Base Bid, upward or downward as actual usage dictates. The term Cost is considered to include Contractor's total price for overhead and profit, labor, equipment, state and local taxes, insurance, permits and any incidentals required to perform the work. The assumed allowances are considered to be part of the Base Bid and Final allowance figures will be adjusted according to actual usage and unit cost pricing.

3.01 UNIT COST NO. 1: REMOVE AND REPLACE DETERIORATED LIGHT-GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to remove and replace one (1) lineal foot (LF) of corroded light gauge metal framing, in accordance with Technical Specification Section 05400.

Add the Sum of: \$ _____.____/LF

3.02 UNIT COST NO. 2: PREPARE AND TREAT CORRODED LIGHT GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to prepare and treat one (1) lineal foot (LF) of corroded light gauge metal framing with CorrVerter MCI Rust Primer.

Add the Sum of: \$ _____.____/LF

3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ _____.____/LF

3.04 UNIT COST NO. 4: VERTICAL PARTIAL DEPTH CONCRETE REPAIRS

Quote the amount to be added to the Base Bid to perform one (1) square foot (SF) of partial depth concrete repairs at the parking garage adjacent to the skybridge connections, in accordance with Technical Specification Section 03370.

Add the Sum of: \$ _____.____/SF

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3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ ____/Hour

For Unskilled Labor

\$ ____/Hour

Contractor Mark-up

____/Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 _____ DAYS

4.03 For Base Bid No. 2 _____ DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization _____ DATE.

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation _____ DATE.

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: _____

6.00 ACCEPTANCE

**GRAND PANAMA BEACH RESORT
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- 6.01** The form of Agreement shall be as provided by Owner.
- 6.02** The Owner reserves the right to not disclose the Bid Prices.
- 6.03** Contractor agrees to hold prices for sixty (60) days. Owner reserves the right to accept or reject this proposal for a period of sixty (60) days from the Bid Due Date.

7.00 DISCLOSURES

7.01 BIDDER is required to list below all major subcontractors whose prices are incorporated in the Bid Price. Generally, trades listed should be those involving major money amounts or special technical items. If none used, write "None". If the bidder does not list any subcontractors on the bid form that perform work on this project, any unapproved subcontractor who attempts to work on the project will be removed from the job and the bidder will have to go through the necessary approval procedures.

Trade	Subcontractor
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Submitted On: _____, 20_____

By: _____(Seal)

Firm Name: _____

Name of Person Authorized to Sign: _____

Business Address: _____

Telephone No.: _____

END OF SECTION 00300

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.00 GENERAL

1.01 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an agreement with the OWNER, in the form stipulated in the Bidding Documents, to perform and furnish the work pursuant to the Bidding Documents for the bid price and within the bid times indicated in this Bid and pursuant to the other terms and conditions of the Contract Documents.

A. The bid price and other prices, as indicated in this bid, shall include the total price for overhead and profit, labor, equipment, all taxes, insurance, permits, and incidentals required to perform the work.

1.02 In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:

A. This Bid will remain subject to acceptance for sixty (60) calendar days after the day of bid opening.

B. The Owner has the right to accept or reject this Bid for a period of sixty (60) calendar days after the day of Bid opening.

C. BIDDER will sign and submit the Agreement with the performance and payment bond, and other documents stated in the Bidding Requirements within seven (7) days after the date of OWNER’S Notice of Award and the Contract has been executed.

D. BIDDER has examined copies of all Bidding Documents.

E. BIDDER has visited the site and become familiar with the general, local, and site conditions.

F. BIDDER is familiar with federal, state, and local laws and regulations.

G. The successful BIDDER shall be required to attend the pre-construction conference, at which time all submittals required by the Contract Documents shall be presented and reviewed for approval.

H. BIDDER has received the following Addenda receipt of which is hereby acknowledged:

DATE	NUMBER
<u>1/12/26</u>	<u>1</u>
<u>1/13/26</u>	<u>2</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

1.03 Questions regarding the Bidding Documents shall be directed in writing to BECI:

Attention: Mr. Gordon Porter, REWO
Email: gporter@be-ci.com

Copy: BECI Design Department
Email: design@be-ci.com

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.04 Questions regarding the Bidding Documents may not be answered if received less than 48 hours prior to time and date established for receipt of bids.

2.00 SCOPE OF WORK

- A. BIDDER will complete the work for the Base Bid described herein pursuant to the Contract Documents for the LUMP SUM BID PRICE stipulated herein. BIDDER must also submit a price for the unit costs as well. The quantity allowance indicated for certain work activity, where an allowance is referenced below, will be audited as the work progresses and the Contract will be adjusted up or down based on the actual quantity used and its corresponding unit cost pricing. Quantities enumerated are not allowances and must be verified by the Bidder for accuracy and correctness.
- B. Provide all permits, licenses, and fees including, but not limited to, permit fees, licensing fees, and plan review fees, as well as compliance with all regulatory ordinances and inspections that are required to perform proposed work.
- C. Provide all necessary insurance including Florida Workman's Compensation and general liability insurance. List the **Owner and Engineer** as an additional insured party to the policy with a 30-day notice of any changes or cancellations to the policy.
- D. Provide all safety barriers and enforce all OSHA rules concerning construction and project safety. Provide all tools and equipment (i.e. cranes, material hoist and scaffolding) required to properly perform the work. Protect surrounding areas and existing areas within the property not included in construction along with daily cleanup of all debris.
- E. Contractors are responsible for surveying all surrounding work areas and reporting any pre-existing damage to the Owner in writing prior to commencing work. Provide all selective demolition as outlined in Section 01732 of the Technical Specifications.
- F. **Contractor shall be responsible for providing a weather tight seal at all openings at the end of each workday, as well as during all inclement weather, without exception.** Any damage caused as a result of the Contractor's failure to seal the openings shall be corrected to its original condition by the Contractor at no additional charge to Owner.
- G. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and removed as necessary to perform the scope of work. *NOTE: Owner's approval is required prior to the removal of any existing landscaping.*
- H. Contractor shall be responsible for protection of property, including all areas on-site, during the course of work. All damage caused by Contractor shall be repaired by Contractor, at his or her expense, to its original condition to the complete satisfaction of the Engineer and Owner
- I. **The Owner shall also be responsible for the following items during construction; however, these items in no way relieve the Contractor from their responsibility to protect the building components.** (1) The Owner shall be responsible for providing a laydown and staging area for the Contractor to place and store equipment and materials on-site. (2) Owner shall be responsible for removing all furniture from private balconies prior to work starting on the

**GRAND PANAMA BEACH RESORT
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balcony. If furniture is not removed, Contractor shall be responsible for covering furniture with a drop cloth, however the Contractor shall not be held responsible for damages to furniture not removed.

- J. Upon completion of the work, the Contractor is to clean and remove all equipment, materials, and trash from the entire property. The Contractor shall, at no additional cost to the Owner, restore any damage to sod, shrubs, or pavement caused by the Contractor, to the complete satisfaction of the Engineer and Owner.

2.01 BASE BID NO. 1: COLUMN RESTORATION

The following is a breakdown of the scope of work pertaining to the exterior restoration at the columns of the Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02. The column restoration project shall include the following:

- a. Removal of existing stucco cladding and sheathing down to the existing light gauge metal framing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- e. Installation of new drainable EIFS cladding with high-impact reinforcing mesh at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- f. Application of new acrylic coatings at vertical surfaces of the new clad columns.

Table 1 - Allowances

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
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Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

SUBTOTAL BID OF \$ 587,170.00 for Base Bid No. 1;
Five Hundred Eighty Seven Thousand One Hundred Seventy AND 00 /100 Dollars

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
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2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre-finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances. **If any shoring is necessary, this would be an extra expense**

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- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

SUBTOTAL BID OF \$ 322,100.00 **for Base Bid No. 2;**
Three Hundred Twenty Two Thousand One Hundred **AND 00 /100 Dollars**

3.00 UNIT COSTS

It shall be understood the Unit Costs quoted herein will be used to adjust the Contract Allowances within the Base Bid, upward or downward as actual usage dictates. The term Cost is considered to include Contractor's total price for overhead and profit, labor, equipment, state and local taxes, insurance, permits and any incidentals required to perform the work. The assumed allowances are considered to be part of the Base Bid and Final allowance figures will be adjusted according to actual usage and unit cost pricing.

3.01 UNIT COST NO. 1: REMOVE AND REPLACE DETERIORATED LIGHT-GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to remove and replace one (1) lineal foot (LF) of corroded light gauge metal framing, in accordance with Technical Specification Section 05400.

Add the Sum of: \$ 7 50 /LF

3.02 UNIT COST NO. 2: PREPARE AND TREAT CORRODED LIGHT GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to prepare and treat one (1) lineal foot (LF) of corroded light gauge metal framing with CorrVerter MCI Rust Primer.

Add the Sum of: \$ 9 00 /LF

3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ 25 00 /LF

3.04 UNIT COST NO. 4: VERTICAL PARTIAL DEPTH CONCRETE REPAIRS

Quote the amount to be added to the Base Bid to perform one (1) square foot (SF) of partial depth concrete repairs at the parking garage adjacent to the skybridge connections, in accordance with Technical Specification Section 03370.

Add the Sum of: \$ 75 00 /SF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ 78 . 00 /Hour

For Unskilled Labor

\$ 65 . 00 /Hour

Contractor Mark-up

 20 . 00 /Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 170 DAYS

These would run concurrently We can separate the Skybridge into its own project to start this winter/spring, then do the columns in the fall if that is an option for the facility

4.03 For Base Bid No. 2 60 DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization February 2026 DATE.

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation Februrary 2026 DATE.

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: 1.75%

6.00 ACCEPTANCE



Date: 1/15/2025

GRAND PANAMA BEACH RESORT OWNER'S ASSOCIATION, INC.
LINDSAY WILLIAMS, CAM
11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407
Lindsay.williams@fsresidential.com

Re: COLUMN AND SKYBRIDGE RESTORATION 2026

General Clarifications:

1. Excludes bonds.
2. Owner to supply water from the existing building for contractors' use.
3. Owner to provide a laydown spot onsite for material and equipment for the duration of the project.
4. Ownership to provide onsite parking for SWS personnel at no cost to SWS.
5. Regular working hours (M-S: 8:00 AM-5:00 PM) have been budgeted for this proposal.
6. Excludes all labor/workmanship warranties beyond SWS' standard 2-year warranty.
7. We have included one mobilization for each base bid on this project, any additional mobilizations will result in additional charges.
8. All shop drawings, mockups, submittals, and color selections are to be made prior to official work start.
9. This proposal is valid for 60 days from the above date.
10. This proposal does not include any interior repairs, including nail pop repairs, that may result from the removal of stucco at the flat wall areas of the North Tower.
11. SWS assumes that light-gauge metal framing replacement, where required, is limited to full-length member replacement.
12. SWS has based its proposal on the details provided in the bid documents. No vertical flashings at wall interface conditions are included in this proposal.
13. **Alternate – Coating System Substitution:**
Upon approval, substitution of StoColor Lotusan Finish for the specified acrylic coating system will result in a credit of **\$25,000.00** to the contract value.

Should you have questions regarding this proposal or need additional information my direct line and email are listed below.

Thank you for the opportunity to provide pricing on this project.

Lee Cope
Vice President
Direct Line: 770.932.7718 Ext. 5117
E-mail: Lcope@southernwall.com

Mark Romsey
Estimator
Direct Line: 850-499-0354
E-mail: mromsey@southernwall.com

ATLANTA
550 Satellite Blvd NE, Suite 200
Suwanee, GA 30024
770/932-7718

CHARLESTON
4900 O'Hear Ave, Suite 100
Charleston, SC 29405
770/932-7718

DESTIN
178 N Geronimo St
Miramar, FL 32550
850/831-8610

HOUSTON
19662 Airport Parkway
Conroe, TX 77303
936/537-7718

NASHVILLE
15 Keith Street
Nashville, TN 37210
615/750-3189

RESTORATION

SERVICES WE PROVIDE:

FAÇADE RESTORATION

- Facade Cleaning/Sealing
- Water Leakage Repairs
- Historic Preservation
- EIFS
- Stucco | Plaster
- Masonry
- Adhered Stone and Stone Veneer
- Metal Panels
- Fiber Cement Panels/Siding
- Windows/Glass
- Elastomeric Coatings
- Painting, Sealants and Caulking
- Expansion Joint Systems

CONCRETE RESTORATION

- Crack Repair and Sealing
- Epoxy injection
- Delamination and Spall Repair
- Strengthening-Carbon Fiber
- Concrete Placement
- Polyurethane Grout Injection
- Vehicular and Pedestrian Traffic Membrane Coatings
- Slope Repair
- Plaza Deck and Pavers

WATERPROOFING

- Testing - Evaluation
- Joint Sealants and Caulking
- Expansion Joint Systems
- Below Grade Waterproofing
- Balcony and Plaza Deck Waterproofing



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**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.00 GENERAL

1.01 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an agreement with the OWNER, in the form stipulated in the Bidding Documents, to perform and furnish the work pursuant to the Bidding Documents for the bid price and within the bid times indicated in this Bid and pursuant to the other terms and conditions of the Contract Documents.

A. The bid price and other prices, as indicated in this bid, shall include the total price for overhead and profit, labor, equipment, all taxes, insurance, permits, and incidentals required to perform the work.

1.02 In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:

A. This Bid will remain subject to acceptance for sixty (60) calendar days after the day of bid opening.

B. The Owner has the right to accept or reject this Bid for a period of sixty (60) calendar days after the day of Bid opening.

C. BIDDER will sign and submit the Agreement with the performance and payment bond, and other documents stated in the Bidding Requirements within seven (7) days after the date of OWNER'S Notice of Award and the Contract has been executed.

D. BIDDER has examined copies of all Bidding Documents.

E. BIDDER has visited the site and become familiar with the general, local, and site conditions.

F. BIDDER is familiar with federal, state, and local laws and regulations.

G. The successful BIDDER shall be required to attend the pre-construction conference, at which time all submittals required by the Contract Documents shall be presented and reviewed for approval.

H. BIDDER has received the following Addenda receipt of which is hereby acknowledged:

DATE	NUMBER
<u>1/12/2026</u>	<u>Addendum No. 1</u>
<u>1/13/2026</u>	<u>Addendum No. 2</u>

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Attention: Mr. Gordon Porter, REWO
Email: gporter@be-ci.com

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**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

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- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
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COLUMN AND SKYBRIDGE RESTORATION 2026
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Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

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- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

**SUBTOTAL BID OF \$ 580,390.00 for Base Bid No. 1;
Five hundred eighty thousand three hundred ninety dollars **AND 00/100 Dollars****

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances.

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
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- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

SUBTOTAL BID OF \$ 484,741.00 **for Base Bid No. 2;**
Four hundred eighty-four thousand seven hundred forty-one **AND 00 /100 Dollars**

3.00 UNIT COSTS

It shall be understood the Unit Costs quoted herein will be used to adjust the Contract Allowances within the Base Bid, upward or downward as actual usage dictates. The term Cost is considered to include Contractor's total price for overhead and profit, labor, equipment, state and local taxes, insurance, permits and any incidentals required to perform the work. The assumed allowances are considered to be part of the Base Bid and Final allowance figures will be adjusted according to actual usage and unit cost pricing.

3.01 UNIT COST NO. 1: REMOVE AND REPLACE DETERIORATED LIGHT-GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to remove and replace one (1) lineal foot (LF) of corroded light gauge metal framing, in accordance with Technical Specification Section 05400.

Add the Sum of: \$ _____.784/LF

3.02 UNIT COST NO. 2: PREPARE AND TREAT CORRODED LIGHT GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to prepare and treat one (1) lineal foot (LF) of corroded light gauge metal framing with CorrVerter MCI Rust Primer.

Add the Sum of: \$ _____.405/LF

3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ _____.97.87/LF

3.04 UNIT COST NO. 4: VERTICAL PARTIAL DEPTH CONCRETE REPAIRS

Quote the amount to be added to the Base Bid to perform one (1) square foot (SF) of partial depth concrete repairs at the parking garage adjacent to the skybridge connections, in accordance with Technical Specification Section 03370.

Add the Sum of: \$ _____154.35/SF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ 55.00 /Hour

For Unskilled Labor

\$ 46.00 /Hour

Contractor Mark-up

 15. /Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 40 DAYS

4.03 For Base Bid No. 2 33 DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization DATE. 30 DAFTER SIGNED CONTRACT OR ONE (1) WEEK AFTER PERMIT IS RECIEVED, WHICH EVER COMES FIRST

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation DATE.

30 DAFTER SIGNED CONTRACT OR ONE (1) WEEK AFTER PERMIT IS RECIEVED, WHICH EVER COMES FIRST

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: 1.5 %

6.00 ACCEPTANCE

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

- 6.01** The form of Agreement shall be as provided by Owner.
- 6.02** The Owner reserves the right to not disclose the Bid Prices.
- 6.03** Contractor agrees to hold prices for sixty (60) days. Owner reserves the right to accept or reject this proposal for a period of sixty (60) days from the Bid Due Date.

7.00 DISCLOSURES

7.01 BIDDER is required to list below all major subcontractors whose prices are incorporated in the Bid Price. Generally, trades listed should be those involving major money amounts or special technical items. If none used, write "None". If the bidder does not list any subcontractors on the bid form that perform work on this project, any unapproved subcontractor who attempts to work on the project will be removed from the job and the bidder will have to go through the necessary approval procedures.

Trade	Subcontractor
Welder	Triple H Welding
_____	_____
_____	_____
_____	_____
_____	_____

Submitted On: January 15, 2026

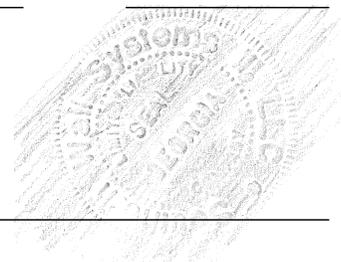
By: Mark Romsey (Seal)

Firm Name: Southern Wall Systems

Name of Person Authorized to Sign: Lee Cope

Business Address: 178 N Geronimo St. Miramar FL, 32550

Telephone No.: 850-831-8610



END OF SECTION 00300

January 15th, 2026

Re: Grand Panama Beach Resort – Column and Skybridge Restoration

Please find enclosed the completed bid form and supplementary information for the Grand Panama Beach Resort – Column and Skybridge Restoration project.

In addition to the completed bid form we have included a list of Bid Qualifications/Clarifications which help explain our Bid for this project.

Should you have any questions or require additional information, please feel free to call me at 850-737-0485.

Sincerely,



Larry LeBlanc
Business Development Manager
LLeBlanc@Valcourt.net
850-737-0485

Local Office:
195 Lurton Street
Pensacola, FL 32505

January 15th, 2026

VALCOURT EXTERIOR BUILDING SERVICES OF FLORIDA, L.C. (Valcourt)

PROPOSAL/BID RESERVATIONS

Valcourt very much appreciates the opportunity to present the attached Proposal/Bid in response to the Owner's request.

The Owner's or Consultant's acceptance of Valcourt's Proposal/Bid signifies and ratifies that, notwithstanding any contrary or conflicting provision in the "Bid Documents" (including Project Manual, Specifications, Conditions, Bid Form, Request for Proposal or any other document), Valcourt submits the attached Proposal/Bid contingent upon Valcourt's right to negotiate the proposed Contract language prior to its execution, and the understanding that Valcourt's Proposal/Bid is merely the expression of an intention to enter into a binding Contract with the Owner, after our good faith negotiation.

Additionally, the "Proposal Price/Bid Price" (including all Alternate, Unit, and Time & Material pricing) for this Project has been calculated based on the current cost of component building materials and labor. The market for building materials and labor are currently experiencing unprecedented volatility, and the prices of materials and cost of labor are increasing at an uncontrolled rate and pace. Considering this, and notwithstanding any contrary or conflicting provision in the "Bid Documents", if there is an increase in the price of any applicable materials or cost of labor subsequent to the date of this Proposal/Bid, the Proposal Price/Bid Price, and the resulting Contract Sum/Price, will increase accordingly. Notwithstanding, any contrary or conflicting provision in the "Bid Documents", Valcourt submits the attached Proposal/Bid contingent upon Valcourt's right to increase the Proposal Price/Bid Price, and the resulting Contract Sum/Price, by the amount of any increased costs of materials and/or labor prior to, or during, the performance of the Work by Valcourt.

Sincerely,

Valcourt Exterior Building Services of Florida, L.C.

BID QUALIFICATIONS/CLARIFICATIONS

- Repairs will be quantified at a minimum of one (1) unit per location.
- If not already installed, and where required, Valcourt will supply pigtails for each swing stage anticipated for use on the project, for Owner's Electrician to install.
- Performance and Payment Bonds are not included in the bid pricing. Should the owner elect to obtain P & P Bonds for this project, they will be provided at an additional cost of 1.25% of the total contract, including any accepted alternates/options. **Bonds are for the duration of the project only. If additional maintenance bonds are required, additional charges may apply.**
- Permitting fees are not included. If required, Valcourt will procure and manage the permit application process. However, Owner is to pay all permitting costs direct to the applicable municipality. Permit administrative or expediter fees that Valcourt incurs will be billed directly to the Owner.

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

SECTION 00300 - BID PROPOSAL FORM

ISSUE DATE: 12/16/2025

PROJECT: **GRAND PANAMA BEACH RESORT**
COLUMN AND SKYBRIDGE RESTORATION 2026
11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407

OWNER: **GRAND PANAMA BEACH RESORT OWNER'S ASSOCIATION, INC.**
BID TO: C/O: LINDSAY WILLIAMS, CAM
(E-mail) 11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407
E-mail: Lindsay.williams@fsresidential.com

COPY TO: **GORDON PORTER, REWO, FAA sUAS**
(E-mail) BECI
1732 W COUNTY HWY 30A
SANTA ROSA BEACH, FLORIDA 32459
E-mail: gporter@be-ci.com
cc: Chase McInnis; cmcinnis@be-ci.com, BECI Admin; admin@be-ci.com

BID DUE DATE: **JANUARY 15, 2026 @ 10:00 AM CT**

BID FROM: **Bidder's Name:** Valcourt Exterior Building Services of Florida, LC

Address: 4695 18th Street East
Bradenton, FL 34203

Telephone No: (9 4 1) 7 4 7 - 7 2 7 7

Facsimile No: (9 4 1) 7 4 7 - 7 2 7 7

Florida Contractor License No: FL CGC 1514034

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.04 Questions regarding the Bidding Documents may not be answered if received less than 48 hours prior to time and date established for receipt of bids.

2.00 SCOPE OF WORK

- A. BIDDER will complete the work for the Base Bid described herein pursuant to the Contract Documents for the LUMP SUM BID PRICE stipulated herein. BIDDER must also submit a price for the unit costs as well. The quantity allowance indicated for certain work activity, where an allowance is referenced below, will be audited as the work progresses and the Contract will be adjusted up or down based on the actual quantity used and its corresponding unit cost pricing. Quantities enumerated are not allowances and must be verified by the Bidder for accuracy and correctness.
- B. Provide all permits, licenses, and fees including, but not limited to, permit fees, licensing fees, and plan review fees, as well as compliance with all regulatory ordinances and inspections that are required to perform proposed work.
- C. Provide all necessary insurance including Florida Workman's Compensation and general liability insurance. List the **Owner and Engineer** as an additional insured party to the policy with a 30-day notice of any changes or cancellations to the policy.
- D. Provide all safety barriers and enforce all OSHA rules concerning construction and project safety. Provide all tools and equipment (i.e. cranes, material hoist and scaffolding) required to properly perform the work. Protect surrounding areas and existing areas within the property not included in construction along with daily cleanup of all debris.
- E. Contractors are responsible for surveying all surrounding work areas and reporting any pre-existing damage to the Owner in writing prior to commencing work. Provide all selective demolition as outlined in Section 01732 of the Technical Specifications.
- F. **Contractor shall be responsible for providing a weather tight seal at all openings at the end of each workday, as well as during all inclement weather, without exception.** Any damage caused as a result of the Contractor's failure to seal the openings shall be corrected to its original condition by the Contractor at no additional charge to Owner.
- G. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and removed as necessary to perform the scope of work. *NOTE: Owner's approval is required prior to the removal of any existing landscaping.*
- H. Contractor shall be responsible for protection of property, including all areas on-site, during the course of work. All damage caused by Contractor shall be repaired by Contractor, at his or her expense, to its original condition to the complete satisfaction of the Engineer and Owner
- I. **The Owner shall also be responsible for the following items during construction; however, these items in no way relieve the Contractor from their responsibility to protect the building components.** (1) The Owner shall be responsible for providing a laydown and staging area for the Contractor to place and store equipment and materials on-site. (2) Owner shall be responsible for removing all furniture from private balconies prior to work starting on the

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

balcony. If furniture is not removed, Contractor shall be responsible for covering furniture with a drop cloth, however the Contractor shall not be held responsible for damages to furniture not removed.

- J. Upon completion of the work, the Contractor is to clean and remove all equipment, materials, and trash from the entire property. The Contractor shall, at no additional cost to the Owner, restore any damage to sod, shrubs, or pavement caused by the Contractor, to the complete satisfaction of the Engineer and Owner.

2.01 BASE BID NO. 1: COLUMN RESTORATION

The following is a breakdown of the scope of work pertaining to the exterior restoration at the columns of the Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02. The column restoration project shall include the following:

- a. Removal of existing stucco cladding and sheathing down to the existing light gauge metal framing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- e. Installation of new drainable EIFS cladding with high-impact reinforcing mesh at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- f. Application of new acrylic coatings at vertical surfaces of the new clad columns.

Table 1 - Allowances

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

SUBTOTAL BID OF \$ 761,864.00 **for Base Bid No. 1;**
Seven Hundred Sixty-One Thousand, Eight Hundred Sixty-Four **AND** ⁰⁰ /100 Dollars

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances.

**GRAND PANAMA BEACH RESORT
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- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

SUBTOTAL BID OF \$ NO BID **for Base Bid No. 2;**
AND /100 Dollars

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ 8 5 . 0 0 /Hour

For Unskilled Labor

\$ 8 5 . 0 0 /Hour

Contractor Mark-up

 3 0 . 0 0 /Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 90 DAYS

4.03 For Base Bid No. 2 NO BID DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization within 45 days DATE.
after executed contract

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation within 45 days DATE.
after executed contract

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: ADD 1.25%

6.00 ACCEPTANCE

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

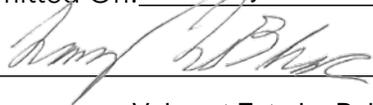
- 6.01** The form of Agreement shall be as provided by Owner.
- 6.02** The Owner reserves the right to not disclose the Bid Prices.
- 6.03** Contractor agrees to hold prices for sixty (60) days. Owner reserves the right to accept or reject this proposal for a period of sixty (60) days from the Bid Due Date.

7.00 DISCLOSURES

7.01 BIDDER is required to list below all major subcontractors whose prices are incorporated in the Bid Price. Generally, trades listed should be those involving major money amounts or special technical items. If none used, write "None". If the bidder does not list any subcontractors on the bid form that perform work on this project, any unapproved subcontractor who attempts to work on the project will be removed from the job and the bidder will have to go through the necessary approval procedures.

Trade	Subcontractor
NONE	
_____	_____
_____	_____
_____	_____
_____	_____

Submitted On: January 15th, 2026

By:  (Seal)

Firm Name: Valcourt Exterior Building Services of Florida, LC

Name of Person Authorized to Sign: Larry LeBlanc

Business Address: 4695 18th Street East, Bradenton, FL 34203

Telephone No.: O: 941-747-7277, C: 850-737-0485

END OF SECTION 00300



Valcourt

Florida Panhandle



January 15, 2026

» Grand Panama Bid Package Table of Contents



- Local Valcourt Team
- Grand Panama Project Team
- Example drop schedule
- Example of Progress Report (Will receive bi-weekly)
- Example of Raken Report (Generated Daily)
- List of local similar projects

» Meet Your Local Panhandle Team



Brandon Durham

Vice President

- 25 Years Construction Experience
- Florida General Contractor
- 17 Years with Valcourt
- Ownership in Valcourt



Jeremy Krueger

Senior Project Manager

- OSHA 30hr Certified
- PTI Certified
- 20+ Years Construction Experience
- 8 Years with Valcourt



John Swanner

Project Manager

- 11 Years Construction Experience
- OSHA 30
- ABAA Level 3 Installer
- EM 385 Fall Protection Certified



Josh Ledet

Project Manager

- 18 Years Industry Experience
- OSHA 30
- 10+ Years Management Experience



Larry LeBlanc

Territory Manager

- 14 Years Waterproofing coatings and sealants experience
- OSHA 10
- OSHA 30
- FAA sUAS Drone Operator

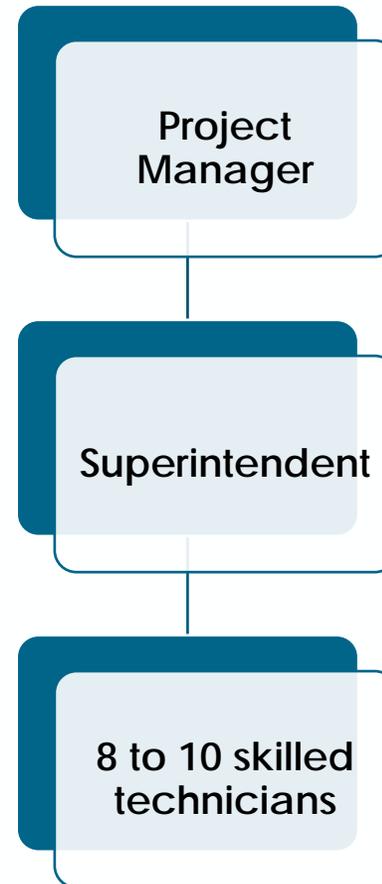


My'Shawn Jones

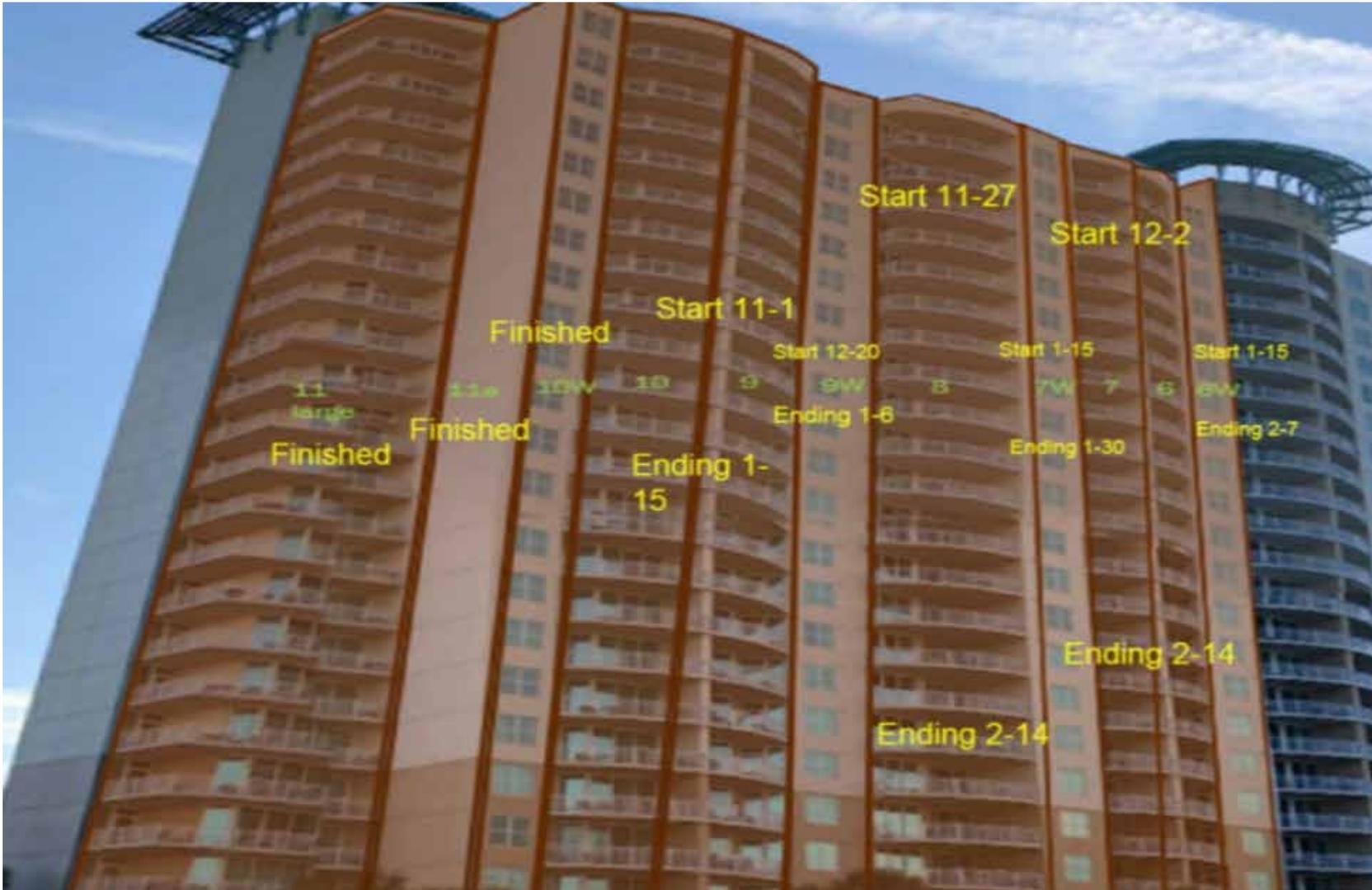
Project Manager

- B.S. in Construction Management
- 8+ Years Industry Experience
- ICC Certified
- ACI Certified
- PMP
- OSHA 30

Project Team Grand Panama



» Example drop schedule





Example Schedule

Aqua Condominium - S														
Drop Type														
Scope & Stack	11small	11W	11b	11large	11a	10W	10	9	9W	8	7W	7	6	6W
Mobilization	16-Sep	16-Sep	9-Oct	30-Sep	30-Sep	12-Nov	1-Nov	1-Nov	20-Dec	27-Nov	6-Jan	2-Dec	2-Dec	15-Jan
Grinding														
Concrete/PT/Rails														
Sealants														
Pressure wash														
Ceiling Paint														
Wall Paint														
Deck Coating														
Touch Up/Punch														
Demobilize	1-Nov	8-Oct	23-Oct	29-Nov	1-Nov	26-Nov	5-Jan	5-Jan	6-Jan	14-Feb	30-Jan	14-Feb	14-Feb	7-Feb
	Balcony	Window	Blank	Balcony	Blank	Window	Balcony	Balcony	Window	Balcony	Window	Balcony	Balcony	Window
Stage Activity/Coming From									9	10w	10	11L	11L	9w
Completed/N/A														
In Progress														
Upcoming														

» Maravilla Progress Report

MARAVILLA CONDOMINIUM



WEEKLY UPDATE

Week of 2.10-2.15



Building 1

Drop 12

-GVS scheduled to remove doors at 1412 Monday, 2/17.

-O&A and Welder scheduled to observe existing conditions at 9:00am on 2/18.

-VBS will provide updated CO pricing based on existing conditions by 2/20.

Unit 1304

-Glass for broken slider ordered 2/14. Approximate 2 week lead time.

Drops 1 & 2

-Standard scope of work items in progress.

Walkways

-Stucco finish repairs in progress at windows and columns.

-Base of wall sealant installation in progress.

-Low spots marked for sloping for O&A review.

Breezeway [Building 1/2]

-Deteriorated decking, joists and pour stop. VBS removing small sections of concrete at O&A direction. Breezeways currently closed.

Building 2

Unit 2207

-Slider release sent to Association for signature on 2/13. GVS will tentatively remove on 2/17, pending signed release.

Drops 1-4

-Standard scope of work items in progress.

Walkways

-Low spots marked for sloping for O&A review.

-Concrete repairs in progress.

Building 3

Drops 3 & 4

-Punch today.

Drops 1 & 2

-Standard scope of work items in progress.

Walkways

-Stucco finish repairs in progress at windows and columns.

-Low spots marked for sloping for O&A review.

Breezeway [Building 2/3]

-Deteriorated decking, joists and pour stop. VBS removing small sections of concrete at O&A direction. Breezeways currently closed.

-VBS requested adjacent elevator is closed at Floor 3.

Building 4

Flat Wall Windows

-EIFS trim band and stucco texture installation in progress.

Towers

-Vertical coating application in progress.

Open RFIs

RFI No. 26 - Building 2 Breezeway Framing (submitted 2/14)

Payment Applications

No. 6 (January) - Additional documentation sent to O&A on 2/13.



Unforeseen Conditions

Additional deterioration was uncovered at the Building 1/2 and Building 2/3 Breezeways this week that require engineer review/direction and welder.



Building 2/3 - Floor 3



Building 2/3 - Floor 3



Building 2/3 - Floor 3



Building 1/2 - Floor 3



Building 1/2 - Floor 3



Two Week Look Ahead Weeks 2/14/25-2/28/25

Building 1

Drop 12

- Pull existing sliding glass doors 2/17
- Review existing conditions with welder and engineer 2/18
- Begin welding repairs (pending engineer directive)

Drop 2

- Vertical and overhead coating
- Deck coating
- Punch and demobilize

Drop 1

- Concrete Repairs
- Stucco Repairs
- Sealants
- Vertical and overhead coating

Walkways

- Base of wall sealant
- Pressure washing
- Vertical and overhead coating

Building 2

Drops 5 & 6 (*ground floor*)

- Deck coating
- Touchups
- Punch and demobilize

Drops 3 & 4

- Sealants
- Vertical and overhead coatings

Drops 1 & 2

- Mobilization
- Demo
- Concrete Repairs
- Stucco repairs

Walkways

- Concrete repairs

Building 3

Drops 1 & 2

- Deck coating
- Touchups
- Punch and demobilize

Walkways

- Concrete repairs
- Stucco/EIFS finish repairs

Building 4

Towers

- Vertical coatings

Flat Walls

- EIFS trim band installation
- Vertical coatings

» Raken Report

Emerald Beach Resort

14700 Front Beach Road Panama City Beach, FL 32413

Date Mon 02/24/2025
Job # 40-24-1017
Prepared By Chaz Epley

	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
3. Any schedule delays occur?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
4. Did weather cause any delays?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
5. What QC/QA tests (pull tests, adhesion tests, coating millage, concrete pH, other?) were conducted?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
6. Any visitors on site?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
7. Any areas that can't be worked on?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
8. Any equipment rented on site?	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

Weather

<p>7:00 AM</p> <p style="font-size: 1.5em;">52°</p> <p>Overcast</p> <p style="font-size: 0.8em;">Wind: 7 MPH Precipitation: 0" Humidity: 98%</p>	<p>12:00 PM</p> <p style="font-size: 1.5em;">64°</p> <p>Overcast</p> <p style="font-size: 0.8em;">Wind: 8 MPH Precipitation: 0" Humidity: 75%</p>	<p>4:00 PM</p> <p style="font-size: 1.5em;">65°</p> <p>Partially cloudy</p> <p style="font-size: 0.8em;">Wind: 8 MPH Precipitation: 0" Humidity: 74%</p>
--	---	--

General Notes

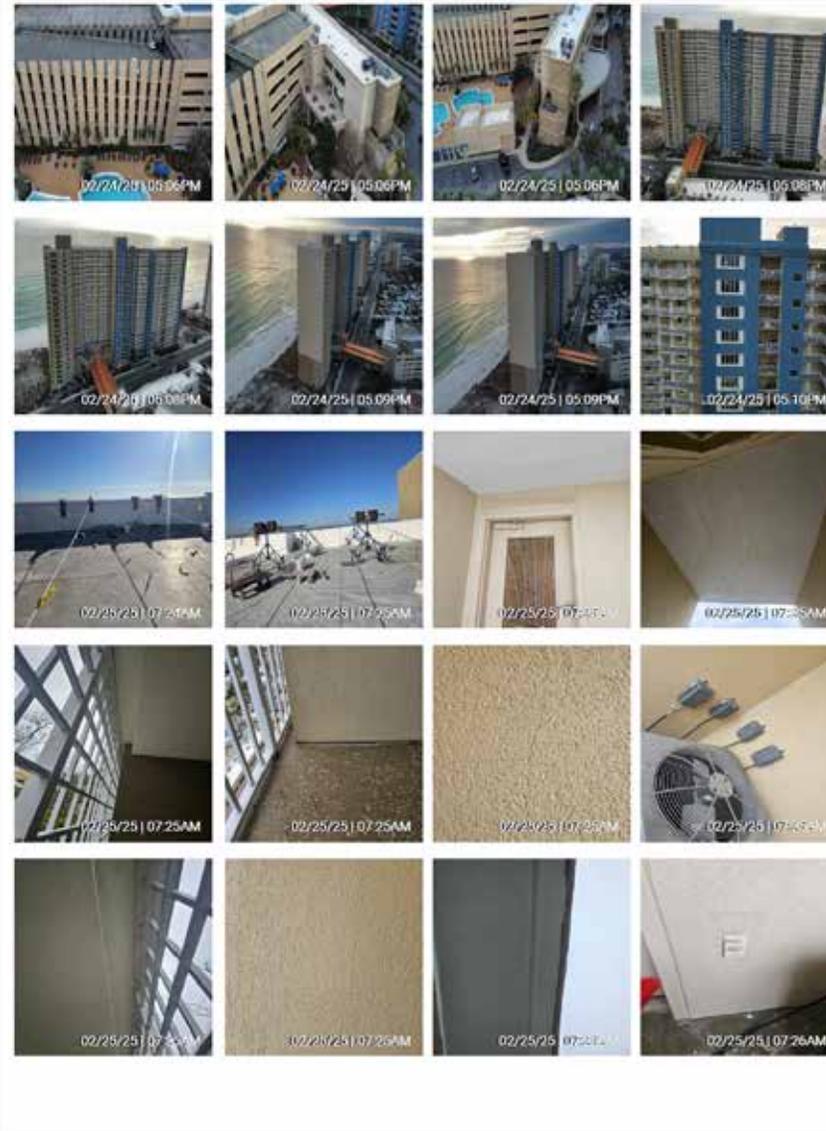
1. drop 13- finished applying 1st coat wall. started 2nd coat wall
- drop 8- finished 1st coat.
- drop 8b- continued 1st coat wall
- drop 7- finished staging.
- drop 4- finished rigging and staging
- entrance:
- east elevation
- continued eifs repairs

Survey

Questions	N/A	No	Yes	Description
1. Is the job site neat and organized?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2. Any accidents on site today?				

Attachments

» Raken Report Photos



Project Spotlights





Local Project: Beachside II Miramar Beach

MARKET

Condominium

CLIENT

Beachside Two
Condominium Association

PROJECT LOCATION

Miramar Beach, FL

PROJECT AMOUNT

\$7M+

SERVICES

- Paint exterior façade.
- Remove and replace 100,00 SF of Stucco
- Remove and Install 144 windows
- Full & Partial Concrete Repairs
- Waterproofing of the Terraces
- Waterproofing Balconies



Local Project: Grand Panama Panama City Beach

MARKET

Condominium

CLIENT

Grand Panama
Association

PROJECT LOCATION

Panama City Beach , FL

PROJECT AMOUNT

\$2M+

SERVICES

- Painting of Exterior Façade
- Removal and replacement of perimeter window sealants
- Stucco Repairs
- Concrete Repair
- Waterproofing Balconies
- Waterproofing Garage Decks





Local Project: Calypso Resort Panama City Beach



MARKET

Condominium

CLIENT

Calypso Resort Association

PROJECT LOCATION

Panama City Beach, FL

PROJECT AMOUNT

\$2M+

SERVICES

- Paint previously painted stucco and metal.
- Remove and Replace all sealants.
- Remove and replace delaminated stucco
- Concrete repairs
- Waterproof all walkways

MARKET

Condominium

CLIENT

Calypso Resort Association

PROJECT LOCATION

Panama City Beach, FL

PROJECT AMOUNT

\$2M+

SERVICES

- Paint previously painted stucco and metal.
- Remove and Replace all sealants.
- Remove and replace delaminated stucco
- Concrete repairs
- Waterproof all walkways
- Traffic Membrane Application





QUOTE

Teamworks Welding & Fabrication, LLC

DATE: 1/8/2026

2201 N East Ave Panama City, FL 32405
 Phone: 850-481-1426
 Email: Office@teamworkspc.com

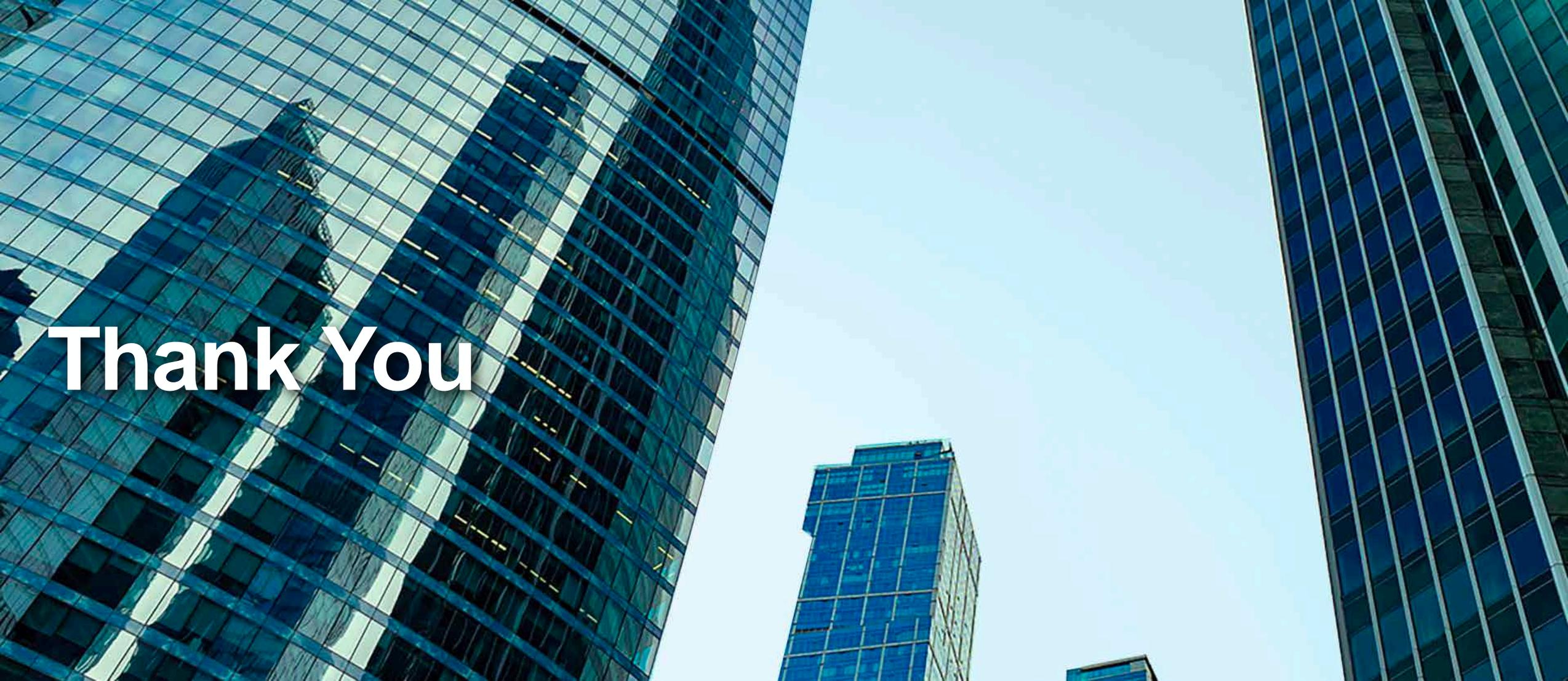
TO: Valcourt Building Services
 NAME: Larry Leblanc
 CELL: 850-737-0485
 EMAIL: lleblanc@valcourt.net

ESTIMATOR	JOB	PMT TERMS	EST START
Jimmy G	Carillon Beach Inn Louver Refurbish	Upon Completion	January 0, 1900

QTY	DESCRIPTION	UNIT S	TOTAL
	Remove and relocate 135 louvers of various sizes and locations using Valcourt equipment replacing all fasteners with stainless fasteners. Bay Welding is the site crew removing, replacing, hauling to and from to powder coating		\$ 54,000.00
	Teamworks to sandblast and refinish 135 louveres of various sizes and load back on trailer as Bay Welding delivers back to job site. Price includes blasting, powder coating with standard powder	50%	\$ 62,600.00
	Deposit due upon signing.	50%	

To accept this quotation, please sign, date & return:		SUBTOTAL	\$ 116,600.00
		SALES TAX	\$ -
SIGNATURE	DATE	CONTRACT \$	\$ -

This Quotation is valid for acceptance 3 days from date above. Due to the current volatility and speed of pricing changes of metal and other supplies; we will have to double check the materials price once a quote is approved. When the materials portion of the quote is rechecked, we will send you a revised quote for acceptance



Thank You



Larry LeBlanc
lleblanc@valcourt.net
850.737.0485
www.valcourt.group



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

2/14/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Alliant Insurance Services, Inc. 1330 Post Oak Blvd, 3rd Floor Houston TX 77056 License#: 0C36861 JOBSBUI-01	CONTACT NAME: Rachel Williams PHONE (A/C, No, Ext): FAX (A/C, No): E-MAIL ADDRESS: JASECOIS@alliant.com													
	<table border="1"> <thead> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A : Old Republic Insurance Company</td> <td>24147</td> </tr> <tr> <td>INSURER B : Navigators Insurance Company</td> <td>42307</td> </tr> <tr> <td>INSURER C : Zurich American Insurance Comp</td> <td>16535</td> </tr> <tr> <td>INSURER D : Ironshore Specialty Insurance</td> <td>25445</td> </tr> <tr> <td>INSURER E : Beazley Insurance Company, Inc</td> <td>37540</td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </tbody> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Old Republic Insurance Company	24147	INSURER B : Navigators Insurance Company	42307	INSURER C : Zurich American Insurance Comp	16535	INSURER D : Ironshore Specialty Insurance	25445	INSURER E : Beazley Insurance Company, Inc	37540	INSURER F :
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INSURER E : Beazley Insurance Company, Inc	37540													
INSURER F :														
INSURED Valcourt Exterior Building Services of Florida, L.C. 4695 18th Street E Bradenton FL 34203														

COVERAGES

CERTIFICATE NUMBER: 1627174466

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Contractual Liab GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC <input type="checkbox"/> OTHER:	Y	Y	MWZY 316800 25	3/1/2025	3/1/2026	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ 4,000,000 PRODUCTS - COMP/OP AGG \$ 4,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	Y	Y	MWTB 316801 25	3/1/2025	3/1/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ Nil	Y	Y	CH25EXC836061IV	3/1/2025	3/1/2026	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	Y N/A	MWC 316799 25	3/1/2025	3/1/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
D C E	Contractors Pollution Installation Floater Crime	Y	Y	ICELLUW00144353 CPP 4613155 - 14 V2DACE250501	3/1/2025 1/1/2025 3/1/2025	3/1/2026 1/1/2026 3/1/2026	Each Claim- \$25K Ded Installation/Service Employee Theft 2,000,000 500,000 5,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The policy includes Blanket Additional Insured on the General Liability and Automobile with a Waiver of Subrogation on General Liability, Automobile and Workers Compensation when required by written contract. This insurance is Primary and Non-Contributory as respects to General Liability with respect to Additional Insured as required by written contract. Excess Liability will follow form with Underlying Insurance as respects Additional Insureds and Waiver of Subrogation.

CERTIFICATE HOLDER**CANCELLATION**

FOR INFORMATION PURPOSES ONLY

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

VANHOY, MICHAEL D

VALCOURT EXTERIOR BUILDING SERVICES OF FLORIDA LC
4695 18TH STREET EAST
BRADENTON FL 34203

LICENSE NUMBER: CGC1514034

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at [MyFloridaLicense.com](https://www.MyFloridaLicense.com)

ISSUED: 06/05/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

SECTION 00300 - BID PROPOSAL FORM

ISSUE DATE: 12/16/2025

PROJECT: **GRAND PANAMA BEACH RESORT**
COLUMN AND SKYBRIDGE RESTORATION 2026
11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407

OWNER: **GRAND PANAMA BEACH RESORT OWNER'S ASSOCIATION, INC.**
BID TO: C/O: LINDSAY WILLIAMS, CAM
(E-mail) 11807 FRONT BEACH ROAD
PANAMA CITY BEACH, FL 32407
E-mail: Lindsay.williams@fsresidential.com

COPY TO: **GORDON PORTER, REWO, FAA sUAS**
(E-mail) BECI
1732 W COUNTY HWY 30A
SANTA ROSA BEACH, FLORIDA 32459
E-mail: gporter@be-ci.com
cc: Chase McInnis; cmcinnis@be-ci.com, BECI Admin; admin@be-ci.com

BID DUE DATE: **JANUARY 15, 2026 @ 10:00 AM CT**

BID FROM: **Bidder's Name:** C/Sharpe Co. LLC
Address: 181 Market Street
Santa Rosa Beach, FL 32459
Telephone No: (251) 974 - 5050
Facsimile No: ()
Florida Contractor License No: CGC1531752

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.00 GENERAL

1.01 The undersigned BIDDER agrees, if this Bid is accepted, to enter into an agreement with the OWNER, in the form stipulated in the Bidding Documents, to perform and furnish the work pursuant to the Bidding Documents for the bid price and within the bid times indicated in this Bid and pursuant to the other terms and conditions of the Contract Documents.

A. The bid price and other prices, as indicated in this bid, shall include the total price for overhead and profit, labor, equipment, all taxes, insurance, permits, and incidentals required to perform the work.

1.02 In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:

A. This Bid will remain subject to acceptance for sixty (60) calendar days after the day of bid opening.

B. The Owner has the right to accept or reject this Bid for a period of sixty (60) calendar days after the day of Bid opening.

C. BIDDER will sign and submit the Agreement with the performance and payment bond, and other documents stated in the Bidding Requirements within seven (7) days after the date of OWNER'S Notice of Award and the Contract has been executed.

D. BIDDER has examined copies of all Bidding Documents.

E. BIDDER has visited the site and become familiar with the general, local, and site conditions.

F. BIDDER is familiar with federal, state, and local laws and regulations.

G. The successful BIDDER shall be required to attend the pre-construction conference, at which time all submittals required by the Contract Documents shall be presented and reviewed for approval.

H. BIDDER has received the following Addenda receipt of which is hereby acknowledged:

DATE	NUMBER
<u>1/12/26</u>	<u>1</u>
<u>1/13/26</u>	<u>2</u>
_____	_____

1.03 Questions regarding the Bidding Documents shall be directed in writing to BECI:

Attention: Mr. Gordon Porter, REWO
Email: gporter@be-ci.com

Copy: BECI Design Department
Email: design@be-ci.com

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

1.04 Questions regarding the Bidding Documents may not be answered if received less than 48 hours prior to time and date established for receipt of bids.

2.00 SCOPE OF WORK

- A. BIDDER will complete the work for the Base Bid described herein pursuant to the Contract Documents for the LUMP SUM BID PRICE stipulated herein. BIDDER must also submit a price for the unit costs as well. The quantity allowance indicated for certain work activity, where an allowance is referenced below, will be audited as the work progresses and the Contract will be adjusted up or down based on the actual quantity used and its corresponding unit cost pricing. Quantities enumerated are not allowances and must be verified by the Bidder for accuracy and correctness.
- B. Provide all permits, licenses, and fees including, but not limited to, permit fees, licensing fees, and plan review fees, as well as compliance with all regulatory ordinances and inspections that are required to perform proposed work.
- C. Provide all necessary insurance including Florida Workman's Compensation and general liability insurance. List the **Owner and Engineer** as an additional insured party to the policy with a 30-day notice of any changes or cancellations to the policy.
- D. Provide all safety barriers and enforce all OSHA rules concerning construction and project safety. Provide all tools and equipment (i.e. cranes, material hoist and scaffolding) required to properly perform the work. Protect surrounding areas and existing areas within the property not included in construction along with daily cleanup of all debris.
- E. Contractors are responsible for surveying all surrounding work areas and reporting any pre-existing damage to the Owner in writing prior to commencing work. Provide all selective demolition as outlined in Section 01732 of the Technical Specifications.
- F. **Contractor shall be responsible for providing a weather tight seal at all openings at the end of each workday, as well as during all inclement weather, without exception.** Any damage caused as a result of the Contractor's failure to seal the openings shall be corrected to its original condition by the Contractor at no additional charge to Owner.
- G. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and removed as necessary to perform the scope of work. *NOTE: Owner's approval is required prior to the removal of any existing landscaping.*
- H. Contractor shall be responsible for protection of property, including all areas on-site, during the course of work. All damage caused by Contractor shall be repaired by Contractor, at his or her expense, to its original condition to the complete satisfaction of the Engineer and Owner
- I. **The Owner shall also be responsible for the following items during construction; however, these items in no way relieve the Contractor from their responsibility to protect the building components.** (1) The Owner shall be responsible for providing a laydown and staging area for the Contractor to place and store equipment and materials on-site. (2) Owner shall be responsible for removing all furniture from private balconies prior to work starting on the

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

balcony. If furniture is not removed, Contractor shall be responsible for covering furniture with a drop cloth, however the Contractor shall not be held responsible for damages to furniture not removed.

- J. Upon completion of the work, the Contractor is to clean and remove all equipment, materials, and trash from the entire property. The Contractor shall, at no additional cost to the Owner, restore any damage to sod, shrubs, or pavement caused by the Contractor, to the complete satisfaction of the Engineer and Owner.

2.01 BASE BID NO. 1: COLUMN RESTORATION

The following is a breakdown of the scope of work pertaining to the exterior restoration at the columns of the Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02. The column restoration project shall include the following:

- a. Removal of existing stucco cladding and sheathing down to the existing light gauge metal framing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- e. Installation of new drainable EIFS cladding with high-impact reinforcing mesh at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- f. Application of new acrylic coatings at vertical surfaces of the new clad columns.

Table 1 - Allowances

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

SUBTOTAL BID OF \$ 782,427.00 _____ **for Base Bid No. 1;**
Seven Hundred Eighty Two Thousand Four Hundred Twenty Seven **AND 00 /100 Dollars**

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances.

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

SUBTOTAL BID OF \$ 835,632.00 **for Base Bid No. 2;**
Eight Hundred Thirty Five Thousand Six Hundred Thirty Two **AND 00 /100 Dollars**

3.00 UNIT COSTS

It shall be understood the Unit Costs quoted herein will be used to adjust the Contract Allowances within the Base Bid, upward or downward as actual usage dictates. The term Cost is considered to include Contractor's total price for overhead and profit, labor, equipment, state and local taxes, insurance, permits and any incidentals required to perform the work. The assumed allowances are considered to be part of the Base Bid and Final allowance figures will be adjusted according to actual usage and unit cost pricing.

3.01 UNIT COST NO. 1: REMOVE AND REPLACE DETERIORATED LIGHT-GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to remove and replace one (1) lineal foot (LF) of corroded light gauge metal framing, in accordance with Technical Specification Section 05400.

Add the Sum of: \$ ^{18.00} _____._____/LF

3.02 UNIT COST NO. 2: PREPARE AND TREAT CORRODED LIGHT GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to prepare and treat one (1) lineal foot (LF) of corroded light gauge metal framing with CorrVerter MCI Rust Primer.

Add the Sum of: \$ ^{10.00} _____._____/LF

3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ ^{45.00} _____._____/LF

3.04 UNIT COST NO. 4: VERTICAL PARTIAL DEPTH CONCRETE REPAIRS

Quote the amount to be added to the Base Bid to perform one (1) square foot (SF) of partial depth concrete repairs at the parking garage adjacent to the skybridge connections, in accordance with Technical Specification Section 03370.

Add the Sum of: \$ ^{145.00} _____._____/SF

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ 75.00 ____./Hour

For Unskilled Labor

\$ 60.00 ____./Hour

Contractor Mark-up

20 ____./Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 95 _____ DAYS

projects can be combined for a reduced schedule and price

4.03 For Base Bid No. 2 95 _____ DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization August 2026 _____ DATE.

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation August 2026 _____ DATE.

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: 1.3% _____

6.00 ACCEPTANCE

**GRAND PANAMA BEACH RESORT
COLUMN AND SKYBRIDGE RESTORATION 2026
SECTION 00300 - BID PROPOSAL FORM**

- 6.01** The form of Agreement shall be as provided by Owner.
- 6.02** The Owner reserves the right to not disclose the Bid Prices.
- 6.03** Contractor agrees to hold prices for sixty (60) days. Owner reserves the right to accept or reject this proposal for a period of sixty (60) days from the Bid Due Date.

7.00 DISCLOSURES

7.01 BIDDER is required to list below all major subcontractors whose prices are incorporated in the Bid Price. Generally, trades listed should be those involving major money amounts or special technical items. If none used, write "None". If the bidder does not list any subcontractors on the bid form that perform work on this project, any unapproved subcontractor who attempts to work on the project will be removed from the job and the bidder will have to go through the necessary approval procedures.

Trade	Subcontractor
_____	_____
_____	_____
_____	_____
_____	_____

Submitted On: January 15, 2026

By: Robert Sharpe (Seal)

Firm Name: C/Sharpe Co. LLC

Name of Person Authorized to Sign: Robert Sharpe

Business Address: 181 Market Street, Santa Rosa Beach, FL 32459

Telephone No.: 251-974-5050

END OF SECTION 00300



Grand Panama

1.15.2026

ENTER |



An aerial photograph of a coastal town at sunset. The sky is a mix of orange, yellow, and blue. The ocean is on the left, with waves breaking onto a sandy beach. A long strip of land runs from the beach towards the right, lined with buildings and houses. A large body of water, possibly a bay or lagoon, is in the middle ground, reflecting the sunset. In the foreground on the right, a large, modern multi-story building with many balconies is visible. A large white rectangular box is overlaid in the center of the image, containing the text 'Proposal' and 'Grand Panama'.

Proposal

Grand Panama

Opening Statement

Column & Skybridge Restoration
Grand Panama

01/15/2026

Ms. Lindsay Williams
Grand Panama
11807 Front Beach Road
Panama City Beach, FL 32407

Grand Panama - Column & Skybridge Restoration

Ms. Williams:

Thank you for the opportunity to provide this bid package for the column & skybridge restoration project at Grand Panama. We have visited the building to review the existing conditions, and our pricing is based on the specifications provided by BE-CI.

Included in the proposal are references from similar projects as well as licensing, sample insurance, and bonding information. We would appreciate it if you would forward this proposal package to the Owner.

We appreciate the opportunity to provide this proposal and look forward to discussing it further. Please do not hesitate to call if you or the board should have any questions.

Respectfully,
Robert Sharpe



Clarifications

Column & Skybridge Restoration Grand Panama

Clarifications

Notwithstanding any language to the contrary contained in the bid documents (including, without limitation, the request for proposal, invitation to bid, bid package, plans, specifications, and/or project manual), this bid/quotation/estimate is expressly conditioned on the parties reaching agreement on a written contract that incorporates the scope, price, and conditions contained herein.

Clarifications:

1. This proposal does not include removal of windows at the pedestrian bridge & assumes that "L" brackets above windows can be replaced without window removal.
2. Cladding scope of work will require select unit access for setup and breakdown of aerial access equipment.
3. Per pre-bid comments from BE-Ci window sealants at the bridge to be installed at top of windows on the bridge interior.
4. Blasting/coating of roofing metal not included at bridge.
5. This proposal does not include any insulation or interior drywall repairs for cladding repairs.
6. Shaded areas of EIFS replacement at Tower 1 to include 6EA columns.
7. Material and labor prices are contingent on the date they were priced, their availability, and market conditions. C/Sharpe and their representatives have factored in current material and labor prices which will remain valid for 30 days. Significant increases in material and/or labor pricing that are a result of geographic or market factors (including potential trade tariffs) affecting the industry as a whole will require updated pricing to be provided at that time.

This proposal is based on a August 2026 start date with workdays from Monday-Saturday and work hours from 7:00 AM – 5:00 PM, starting loud work at 8:00 AM. If necessary, we would like to work Sundays to make up for lost time.

Licensed



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

BOSWELL, JIMMY CHANDLER

C-SHARPE CO., L.L.C.
181 MARKET STREET
SANTA ROSA BEACH FL 32459

LICENSE NUMBER: CGC1531752

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at MyFloridaLicense.com

ISSUED: 07/30/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



Certificate of Liability



CERTIFICATE OF LIABILITY INSURANCE

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THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Edgewood Partners Insurance Agency 3760 Mansell Rd, Suite 370 Alpharetta GA 30022		CONTACT NAME: Greyling COI Specialist PHONE: (A.C. No. Ext.) 770-670-5355 FAX (A.C. No.): 770-670-5355 E-MAIL: greylingcoi@greyling.com ADDRESS:															
INSURED C-Sharpe Co., LLC 22657 Canal Road Orange Beach AL 36561		<table border="1"> <thead> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A: United Specialty Insurance Company</td> <td>12537</td> </tr> <tr> <td>INSURER B: Praetorian Insurance Company</td> <td>37257</td> </tr> <tr> <td>INSURER C: North Pointe Insurance Company</td> <td>27740</td> </tr> <tr> <td>INSURER D: Accelerant Specialty Insurance Company</td> <td>16890</td> </tr> <tr> <td>INSURER E: StarStone Specialty Insurance Company</td> <td>44776</td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </tbody> </table>		INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: United Specialty Insurance Company	12537	INSURER B: Praetorian Insurance Company	37257	INSURER C: North Pointe Insurance Company	27740	INSURER D: Accelerant Specialty Insurance Company	16890	INSURER E: StarStone Specialty Insurance Company	44776	INSURER F:	
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INSURER F:																	

COVERAGES CERTIFICATE NUMBER: 2067730079 REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADOL SUBR (INSR, WVD)	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:		ATN25610074	1/1/2025	1/1/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
C	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY		165000048	1/1/2025	1/1/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A E	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0		BTN2512307 XLS2005905	1/1/2025 1/1/2025	1/1/2026 1/1/2026	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 Each Occ/Aggregate \$ 5,000,000
B	<input checked="" type="checkbox"/> WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	155000045	1/1/2025	1/1/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
D	Contractor's Professional and Pollution Liab.		S0073GL00211301	1/1/2025	1/1/2026	Per Claim \$ 1,000,000 Aggregate \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Contractor is named as an Additional Insured on the above referenced liability policies with the exception of workers compensation and Professional Liability where and when required by written contract. The above referenced liability policies with the exception of workers compensation and Professional Liability are primary & non-contributory where and when required by written contract. Waiver of Subrogation is applicable where and when required by written contract & allowed by law.

CERTIFICATE HOLDER Sample	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	--

ACORD 25 (2016/03)

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January 15, 2025

RE: C-Sharpe Co., LLC

To Whom It May Concern:

I have handled the bond needs of C-Sharpe Co., LLC since 2020. The company has bonding capacity that exceeds \$25,000,000 single and \$75,000,000 aggregate. Nationwide Mutual Insurance Company is A rated by AM Best.

Issuance of the bonds is subject to application of Nationwide's usual and customary underwriting standards and risk selection criteria, including satisfactory contract terms and conditions, satisfactory bond forms, and receipt and satisfactory review of current underwriting information from our client, evidence of adequate owner financing and the appropriate request form from our contractor for us to provide the bonds.

This letter does not constitute an assumption of liability. The issuance of bonds in connection with this Project is a matter solely between Nationwide and the Contractor. We assume no liability to you or any third party by the issuance of this letter.

Daniel J. Bagge
 Senior Director, Business Development
 South Central Region
 Nationwide Surety
 2 Sanctuary Blvd., Ste 203
 Mandeville, LA 70471

A photograph of a construction worker in an orange safety vest and white hard hat operating a green scissor lift. The worker is positioned against a light-colored, textured wall, likely applying paint or a similar finish. Several large palm trees are visible in the foreground and background, framing the scene. A window with a white railing is visible above the worker. The overall setting appears to be an outdoor area of a building under renovation or maintenance.

Relevant Experience

SunDestin

Phase 2

1040 US-98
Destin, FL 32541

Scope of Work:

- Concrete Repairs
- Cladding
- Elevator Lobby Window Replacement
- Removal and Replacement of all windows and storefronts on the building
- Sliding Glass Door Replacement
- Removing and Replacing Elevator Lobby Swing Doors
- Removal and Replacement of the Fiberglass Unit Entry Doors
- Sealant Replacement
- Painting the main building and all ancillary buildings on property



- Balcony Waterproofing
- Walkway and Stairway Waterproofing
- Balcony Railing Replacement
- Addition of a coping cap to the top of the parapet walls around the roof

Project Reference

Contact: Steven Mercado
Phone: 205-393-1287
Email: smercado@fa.ua.edu

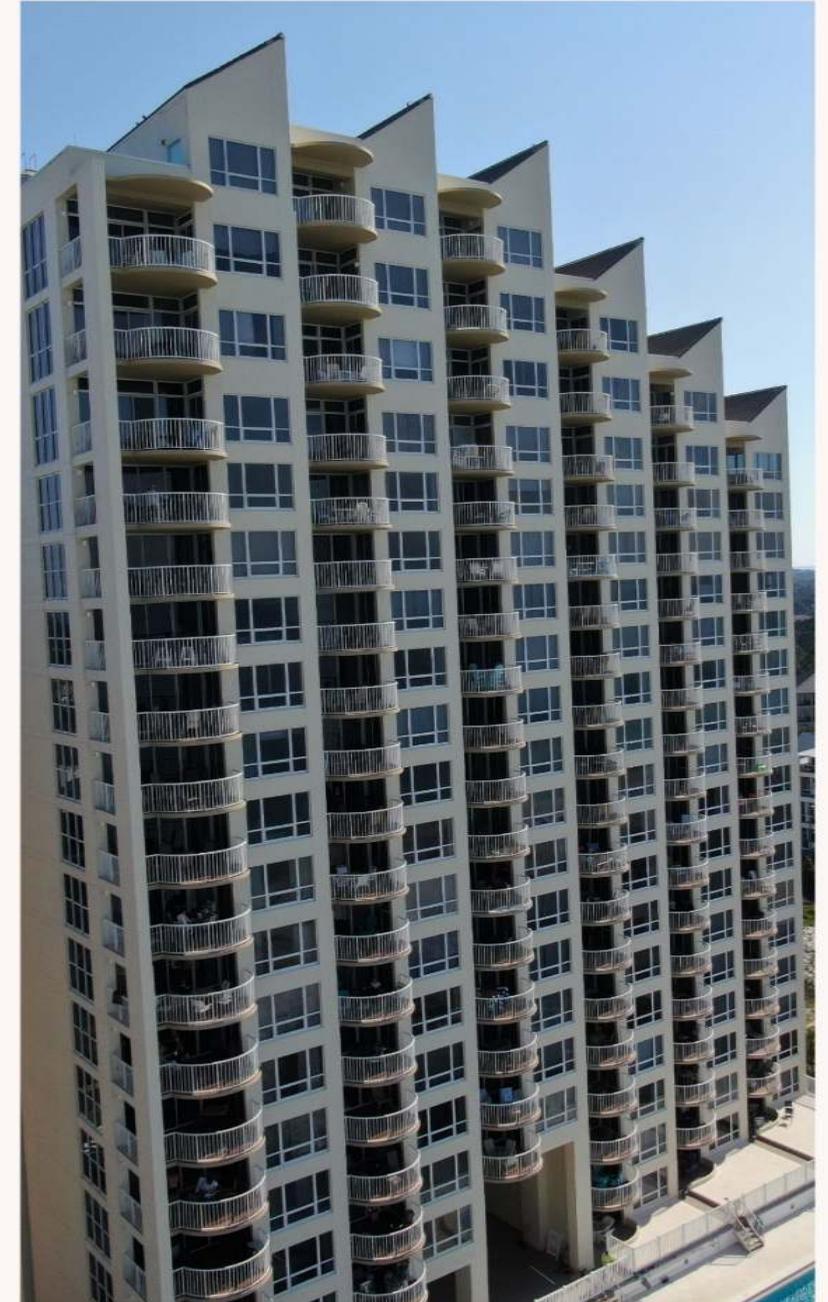


Hidden Dunes

7115 Thomas Drive
Panama City Beach, FL 32408

Scope of Work:

- EIFS Repairs
- Window Replacement at Elevator Landings
- Concrete Repairs
- Walkway Waterproofing
- Walkway Knee Walls and Railing Replacement
- Cladding
- Painting
- Crack Repairs



Splash Resort

17698 Front Beach Road
Panama City Beach, FL 32413

Scope of Work:

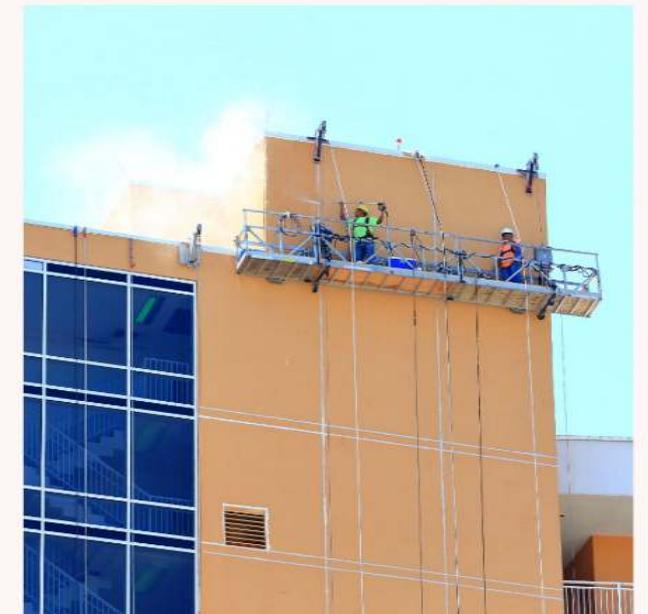
- Complete Building Coating
- Stucco Cladding
- Full Sealant Replacement
- Parking Deck Coating
- Pedestrian Bridge Restoration
- Concrete Repairs
- Balcony Deck Coating
- Walkway Window Replacement

Project Reference

Contact: Sal Albano

Phone: 850-625-5350

Email: maintenance@splashresortpcbeach.com



Tidewater Beach Resort

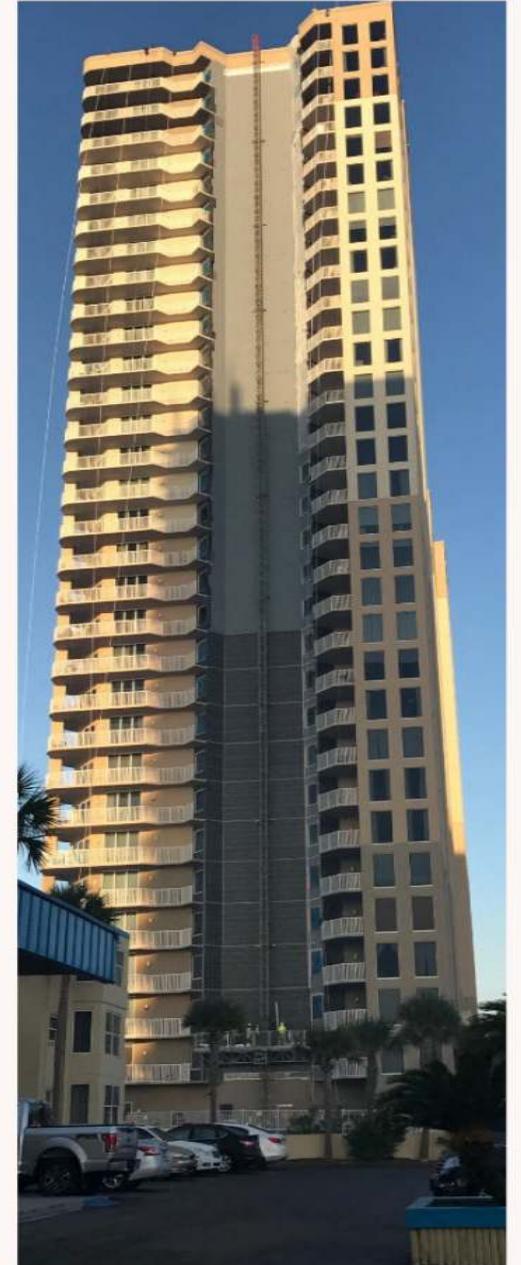
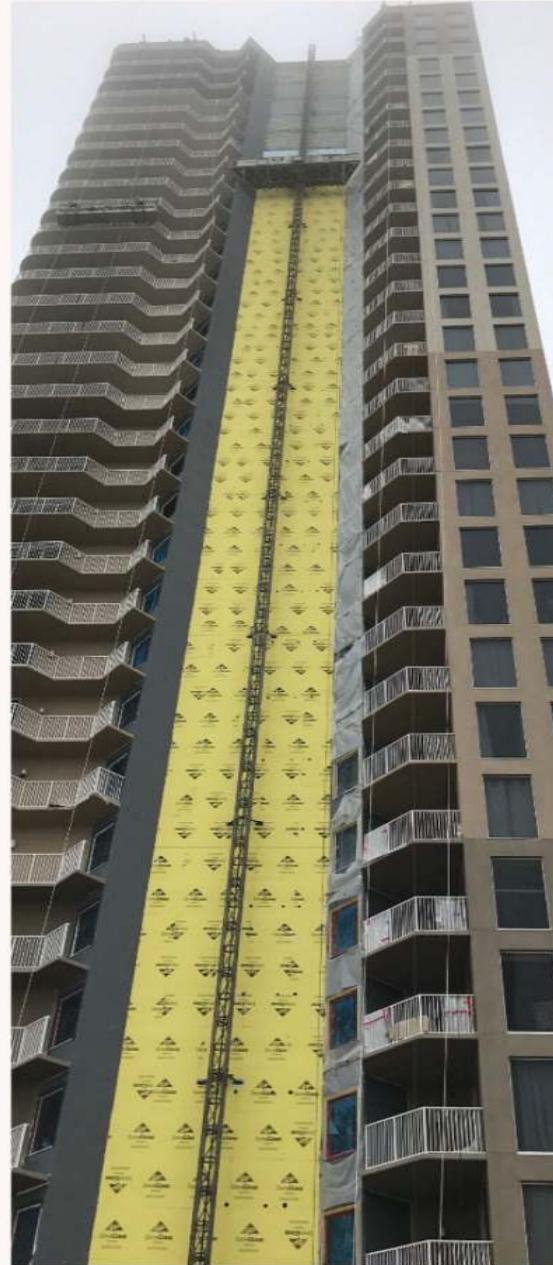
16819 Front Beach Road
Panama City Beach, FL 32413

Scope of Work:

- Stucco system replacement
- Wall & ceiling coating
- Complete sealant replacement
- Concrete repair

Project Reference

Contact: Victor Bowman
Phone: 850-585-6186
Email: victor@penbow.com



Shoreline Tower

900 Gulf Shore Drive
Destin, FL 32541

Scope of Work:

- Sliding Glass Door & Window Replacement
- Stucco Removal & Reapplication
- Extensive Concrete Repairs
- Complete Sealant Replacement
- Wall & Ceiling Coating
- Roof Coating



Tranquility on the Beach

8600 E County Hwy 30A
Alys Beach, FL 32461

Scope of Work:

- Concrete Repairs
- Cladding
- Window Replacement
- Balcony Door Replacement
- Sealants
- Handrail Removal & Replacement
- Balcony Waterproofing
- Walkway Waterproofing
- Painting

Project Reference

Contact: Nick Taras (Board President)
Phone: 615-714-5311
Email: nkt1658@gmail.com





Robert Sharpe

 EMAIL

 PHONE



[Download PDF of Presentation](#)



January 13, 2026

ADDENDUM NO. 2

**RE: Grand Panama Beach Resort
Column and Skybridge Restoration 2026
Panama City Beach, FL**

**FROM: BECI
Destin, Florida**

TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Procurement Documents issued December 16, 2025. Acknowledge receipt of this Addendum in the space provided on the Bid Form *and return the completed Addendum with the modified Bid Form*. Failure to do so may subject Bidder to disqualification.

This Addendum is being issued electronically and consists of two (2) pages and the modified Section 00300 – Bid Proposal Form consisting of ten (10) pages.

CHANGES TO SCOPE OF WORK

Section 00300 – Bid Proposal Form shall be modified as follows:

BASE BID NO. 1 – COLUMN RESTORATION

1.

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

2.

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

3. **3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL “L” ANGLE FRAMING MEMBERS**

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel “L” framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ 160.00 /LF

END OF ADDENDUM NO. 2

**GRAND PANAMA BEACH RESORT
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SECTION 00300 - BID PROPOSAL FORM**

1.04 Questions regarding the Bidding Documents may not be answered if received less than 48 hours prior to time and date established for receipt of bids.

2.00 SCOPE OF WORK

- A. BIDDER will complete the work for the Base Bid described herein pursuant to the Contract Documents for the LUMP SUM BID PRICE stipulated herein. BIDDER must also submit a price for the unit costs as well. The quantity allowance indicated for certain work activity, where an allowance is referenced below, will be audited as the work progresses and the Contract will be adjusted up or down based on the actual quantity used and its corresponding unit cost pricing. Quantities enumerated are not allowances and must be verified by the Bidder for accuracy and correctness.
- B. Provide all permits, licenses, and fees including, but not limited to, permit fees, licensing fees, and plan review fees, as well as compliance with all regulatory ordinances and inspections that are required to perform proposed work.
- C. Provide all necessary insurance including Florida Workman's Compensation and general liability insurance. List the **Owner and Engineer** as an additional insured party to the policy with a 30-day notice of any changes or cancellations to the policy.
- D. Provide all safety barriers and enforce all OSHA rules concerning construction and project safety. Provide all tools and equipment (i.e. cranes, material hoist and scaffolding) required to properly perform the work. Protect surrounding areas and existing areas within the property not included in construction along with daily cleanup of all debris.
- E. Contractors are responsible for surveying all surrounding work areas and reporting any pre-existing damage to the Owner in writing prior to commencing work. Provide all selective demolition as outlined in Section 01732 of the Technical Specifications.
- F. **Contractor shall be responsible for providing a weather tight seal at all openings at the end of each workday, as well as during all inclement weather, without exception.** Any damage caused as a result of the Contractor's failure to seal the openings shall be corrected to its original condition by the Contractor at no additional charge to Owner.
- G. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and removed as necessary to perform the scope of work. *NOTE: Owner's approval is required prior to the removal of any existing landscaping.*
- H. Contractor shall be responsible for protection of property, including all areas on-site, during the course of work. All damage caused by Contractor shall be repaired by Contractor, at his or her expense, to its original condition to the complete satisfaction of the Engineer and Owner
- I. **The Owner shall also be responsible for the following items during construction; however, these items in no way relieve the Contractor from their responsibility to protect the building components.** (1) The Owner shall be responsible for providing a laydown and staging area for the Contractor to place and store equipment and materials on-site. (2) Owner shall be responsible for removing all furniture from private balconies prior to work starting on the

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balcony. If furniture is not removed, Contractor shall be responsible for covering furniture with a drop cloth, however the Contractor shall not be held responsible for damages to furniture not removed.

- J. Upon completion of the work, the Contractor is to clean and remove all equipment, materials, and trash from the entire property. The Contractor shall, at no additional cost to the Owner, restore any damage to sod, shrubs, or pavement caused by the Contractor, to the complete satisfaction of the Engineer and Owner.

2.01 BASE BID NO. 1: COLUMN RESTORATION

The following is a breakdown of the scope of work pertaining to the exterior restoration at the columns of the Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02. The column restoration project shall include the following:

- a. Removal of existing stucco cladding and sheathing down to the existing light gauge metal framing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- b. Removal and replacement of corroded light gauge metal framing to match the existing configuration at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- c. Installation of new glass-faced exterior-grade gypsum sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- d. Application of new fluid-applied weather resistive barrier (WRB) over new sheathing at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- e. Installation of new drainable EIFS cladding with high-impact reinforcing mesh at the columns of Stack 01 and Stack 09 private balconies at Tower 01 and Stacks 07 and 08 at Tower 02.
- f. Application of new acrylic coatings at vertical surfaces of the new clad columns.

Table 1 - Allowances

Quantity Allowance (Base Bid No. 1)	Quantity	Type
1. Remove and Replace Deteriorated Light Gauge Metal Framing	6,000	LF
2. Prepare and Treat Corroded Light Gauge Metal Framing	8,000	LF

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Scope Item 2.01.1 - Tower 01 and 02 Column Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- g. Contractor shall remove all existing stucco at the columns of Stack 01 and Stack 09 at the South Elevation private balconies at Tower 01 and Stacks 07 and 08 at Tower 02 down to the existing light gauge metal framing. Contractor shall survey the existing light gauge metal framing and report, in writing, any deterioration and/or corrosion to the Engineer. Contractor shall wire wheel all corrosion until bright steel is observed and shall treat with CorrVerter MCI rust primer. Contractor shall also remove and replace all deteriorated/corroded light gauge metal framing exhibiting section loss, as directed by the Engineer. Reference Table 1 for allowances.
- C. Once all framing repairs have been completed at the Stack 01, 07, 08 and 09 columns, Contractor shall install new 5/8" glass-faced exterior-grade gypsum sheathing, in accordance with Technical Specification Section 06160 and BECI's Drawings and Details. Contractor shall also apply new fluid-applied weather resistive barrier (WRB) at all columns, in accordance with Technical Specification Section 07270. Contractor shall ensure all board joints and fastener penetrations are properly treated, in accordance with the manufacturer's installation instructions, prior to installation of the new fluid-applied WRB.
- D. Once fluid-applied WRB has been allowed to adequately cure, Contractor shall install new EIFS cladding with high-impact reinforcing mesh and drain screen at the columns, in accordance with Technical Specification Section 07240 and BECI's Drawings and Details. Contractor shall apply EIFS finish texture to match the existing aesthetic as closely as possible. Texture shall be applied at a single column and shall serve as a mock-up for the duration of the project. Texture shall be subject to Owner approval.
- E. Once all new drainable EIFS cladding has been installed at the columns, Contractor shall apply one (1) coat of primer, one (1) coat of high-build acrylic coating, and one (1) coat of self-cleaning acrylic coating over the new drainable EIFS finish, in accordance with Technical Specification Section 09910. Contractor shall provide a coating mock-up at a single column. Color to match the existing and shall be subject to Owner approval.

**SUBTOTAL BID OF \$ 1,097,670.00 _____ for Base Bid No. 1;
One million Ninety-Seven Thousand, Six Hundred Seventy AND 00 /100 Dollars**

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2.02 BASE BID NO. 2: SKYBRIDGE RESTORATION

The following is a breakdown of the scope of work pertaining to the skybridge restoration. The skybridge restoration project shall include the following:

- a. Preparation of the existing steel framing members and corrugated metal ceiling at the skybridge.
- b. Application of high-performance marine-grade coating at all steel framing members, corrugated metal ceiling, and exterior corrugated steel over head surfaces.
- ~~c. Removal of existing headwall flashings at the North and South ends of the skybridge roof.~~
- d. Integration of existing roofing underlayment at the adjacent vertical surfaces.
- ~~e. Installation of new pre finished .032" aluminum headwall flashings.~~

Table 2 - Allowances

Quantity Allowance (Base Bid No. 2)	Quantity	Type
1. Remove and Replace Corroded Steel "L" Framing At Windows	250	LF
2. Partial Depth Concrete Repairs	100	SF

Scope Item 2.02.1 - Skybridge Restoration

- A. Contractor shall be responsible for using reasonable efforts to protect the existing landscaping. Where landscaping interferes with the Work of the Contract, Contractor shall notify Owner prior to commencing work. Owner shall be responsible for having landscaping trimmed and/or removed as necessary to perform the Scope of Work.
- B. Contractor shall be responsible for protection of property, including all areas on site, during the course of Work. All damage caused by the Contractor shall be repaired by the Contractor, at their expense, to its original condition to the complete satisfaction of the Engineer and Owner.
- C. At the parking garage immediately adjacent to the skybridge connections, Contractor shall also perform vertical partial depth concrete repairs, as required by the Engineer. Contractor shall square-cut the edge of repair areas to eliminate feather edges and provide a keyed area of the repair. Where partial-depth patching is required, Contractor is required to take additional precautions to avoid breaking through or fracturing the concrete below the partial depth repair. Contractor is to use special care when removing unsound concrete from around reinforcing steel and embedded anchorages, to prevent the loss of bond in the remaining sound concrete. Reference Table 02 for allowances.

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- D. Contractor shall mechanically remove all existing direct-to-metal coatings at the skybridge interior and exterior down to bright steel, in accordance with manufacturer's recommendations. Once coatings have been removed, Contractor shall survey the existing steel "L" angle at the skybridge windows and shall report, in writing, to the Engineer any areas of corroded steel "L" angle exhibiting section loss. Contractor shall then remove and replace any areas of corroded steel "L" angle with like in-kind materials, as directed by Engineer. New steel shall be welded into place and prepared to receive new coatings to match the adjacent surfaces. Reference Table 2 for allowances.
- E. Once all steel repairs have been completed, Contractor shall then apply one (1) coat of the Tnemec Series 90-97 Tnemec-Zinc primer, two (2) coats of Tnemec Series 66 Hi Build Epoxoline Intermediate Coat, and one (1) of Tnemec 1070 Flouronar Finish Coating at all vertical and overhead steel surfaces at the interior and exterior of the skybridge, in accordance with the manufacturer's installation instructions. Color to match the existing as closely as possible and is subject to Owner approval, prior to the application of coatings.
- F. Contractor shall also install appropriately sized closed-cell foam backer rod and sealant at all interior and exterior window perimeters. Sealant color shall match the new high-performance marine-grade coating color as closely as possible and shall be subject to Owner approval.
- ~~G. At the skybridge roof, Contractor shall also remove the existing headwall flashings at the North and South ends of the skybridge down to the existing roofing underlayment and substrate at adjacent walls. Contractor shall install new high temperature self-adhered underlayment over the existing underlayment and shall turn vertically at the headwall condition and shall shingle existing WRB over the newly installed high temperature self-adhered underlayment.~~
- ~~H. Once underlayment has been integrated, Contractor shall then install new pre-finished .032" aluminum headwall flashings to match the existing configuration, in accordance with Technical Specification Section 07620 and BECI's Drawings and Details. Contractor shall repair stucco cladding at the repair area to match the existing configuration and aesthetic as closely as possible.~~

SUBTOTAL BID OF \$ 739,450.00 **for Base Bid No. 2;**
Seven Hundred Thirty-Nine thousand, Four Hundred Fifty **AND 00 /100 Dollars**

3.00 UNIT COSTS

It shall be understood the Unit Costs quoted herein will be used to adjust the Contract Allowances within the Base Bid, upward or downward as actual usage dictates. The term Cost is considered to include Contractor's total price for overhead and profit, labor, equipment, state and local taxes, insurance, permits and any incidentals required to perform the work. The assumed allowances are considered to be part of the Base Bid and Final allowance figures will be adjusted according to actual usage and unit cost pricing.

3.01 UNIT COST NO. 1: REMOVE AND REPLACE DETERIORATED LIGHT-GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to remove and replace one (1) lineal foot (LF) of corroded light gauge metal framing, in accordance with Technical Specification Section 05400.

Add the Sum of: \$ 25.50. /LF

3.02 UNIT COST NO. 2: PREPARE AND TREAT CORRODED LIGHT GAUGE METAL FRAMING

Quote the amount to be added to the Base Bid to prepare and treat one (1) lineal foot (LF) of corroded light gauge metal framing with CorrVerter MCI Rust Primer.

Add the Sum of: \$ 23.00. /LF

3.03 UNIT COST NO. 3: REPAIR CORRODED STEEL "L" ANGLE FRAMING MEMBERS

Quote the amount to be added to the Base Bid to perform one (1) lineal foot (LF) of steel "L" framing member repair at areas of section loss adjacent to the windows at the skybridge.

Add the Sum of: \$ 160.00. /LF

3.04 UNIT COST NO. 4: VERTICAL PARTIAL DEPTH CONCRETE REPAIRS

Quote the amount to be added to the Base Bid to perform one (1) square foot (SF) of partial depth concrete repairs at the parking garage adjacent to the skybridge connections, in accordance with Technical Specification Section 03370.

Add the Sum of: \$ 120.00. /SF

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3.05 UNIT COST NO. 5: TIME AND MATERIAL

Quote the amount to add for time and material work that may not be covered under the Previous Base Bid, Alternates, or Unit Costs. Provide an hourly rate for both an unskilled and skilled worker. Also provide a contractor mark-up for overhead, management, and profit. All material will be based on actual cost provided by proper documentation. All receipts must indicate delivery site, and date.

Add the Sum of:

For Skilled Labor

\$ 55.00 /Hour

For Unskilled Labor

\$ 45.00 /Hour

Contractor Mark-up

20.00 /Percent

4.00 TIME OF COMPLETION

4.01 BIDDER agrees that, upon receipt of the Notice to Proceed, the Work will be substantially complete and ready for final payment pursuant to the Conditions of the Contract on or before the dates or within the number of **calendar** days indicated in the Agreement.

4.02 For Base Bid No. 1 135 DAYS

4.03 For Base Bid No. 2 100 DAYS

4.04 Date BIDDER can proceed with a Full Crew and equipment to commence mobilization 8/17/2026 DATE.

4.05 Date BIDDER can procure all necessary materials on-site with a Full Crew and equipment to commence installation 8/24/2026 DATE.

4.06 Should substantial completion of the Work NOT be complete on or before the dates or within the number of **calendar** days indicated in the Agreement, penalties in the sum of five hundred dollars (\$500.00) per CALENDAR day which is not complete will be assessed for each calendar day past the substantial completion date indicated by the Agreement and applied against the payment of invoices.

4.07 Time is of the essence - Bidder acknowledges that, if awarded the Contract, the work must be performed within the time limit as specified herein.

5.00 PAYMENT AND PERFORMANCE BONDS

5.01 BIDDER agrees to furnish a Performance Bond with a Labor and Material Payment Bond covering the full Contract Price, pursuant to the Contract Documents, for an additional amount equal to:

Percentage of Contract Price: 1.5

6.00 ACCEPTANCE

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- 6.01** The form of Agreement shall be as provided by Owner.
- 6.02** The Owner reserves the right to not disclose the Bid Prices.
- 6.03** Contractor agrees to hold prices for sixty (60) days. Owner reserves the right to accept or reject this proposal for a period of sixty (60) days from the Bid Due Date.

7.00 DISCLOSURES

7.01 BIDDER is required to list below all major subcontractors whose prices are incorporated in the Bid Price. Generally, trades listed should be those involving major money amounts or special technical items. If none used, write "None". If the bidder does not list any subcontractors on the bid form that perform work on this project, any unapproved subcontractor who attempts to work on the project will be removed from the job and the bidder will have to go through the necessary approval procedures.

Trade	Subcontractor
<u>Rigging</u>	<u>BrandSafway</u>
<u>Cladding</u>	<u>Brownlow Plastering</u>
<u>Blasting</u>	<u>HR dustless</u>
<u>Traffic Control</u>	<u>L30 Engineering</u>
_____	_____

Submitted On: January 15, 2026

By: Duane Gordon (Seal)

Firm Name: Suncoast Restoration & Waterproofing, LLC

Name of Person Authorized to Sign: Duane Gordon

Business Address: 9950 US Highway 98 West, St A2, Miramar Beach, FL 32550

Telephone No.: 800-650-0048

END OF SECTION 00300

** Bid Qualifications are hereby incorporated by reference to our bid documents dated 1/15/2026



Suncoast Restoration and Waterproofing Bid Clarifications for **Grand Panama Resort**

Concrete Repair: Minimum 1 SF/LF/EA per repair location.

Bid cost assumes landscaping and or cutting back of shrubbery for wall access to be provided by others.

We have included 300 metal stud clips in our base bid at a Unit Cost of \$70 per clip.

Bid Cost assumes a erecting a suspended scaffolding system on the Crossover Bridge. We will require original structural drawings from the Association for Engineering.

Named Storm / Weather event: in the event of a named storm or weather event that requires Suncoast to demobilize from site, a demobilization / remobilization fee based on Time & Material rates will apply.

Bid cost assumes Owner to provide laydown area for storage, sanitation, dumpster(s) and parking for construction personnel.

Payment and Performance bond cost if required to be determined by final contract amount. Bond period is for one (1) year. Warranty period covered under the bond is limited to one (1) year from the completion of Suncoast's work.

A Manufacturer's warranty offer supersedes any conflict in warranty required by the contract documents.

This Bid Qualification is hereby incorporated by reference to our bid documents dated 1/15/2026

Best Regards,

Suncoast Restoration and Waterproofing



Ron DeSantis, Governor

Melanie S. Griffin, Secretary



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE GENERAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

GREEN, KENNETH B. JR.

SUNCOAST RESTORATION AND WATERPROOFING LLC
9950 US HIGHWAY 98 WEST
SUITE A-2
MIRAMAR BEACH FL 32550

LICENSE NUMBER: CGC1506000

EXPIRATION DATE: AUGUST 31, 2026

Always verify licenses online at MyFloridaLicense.com

ISSUED: 09/13/2024

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

12/30/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Edgewood Partners Insurance Agency 3780 Mansell Rd. Suite 370 Alpharetta GA 30022	CONTACT NAME: Greyling COI Specialist PHONE (A/C. No. Ext): 770.756.6599 E-MAIL ADDRESS: greylingcerts@greyling.com		FAX (A/C. No.): 770.756.6599
	INSURER(S) AFFORDING COVERAGE		
INSURED Suncoast Restoration and Waterproofing, LLC 3125 Medlock Bridge Rd. Norcross GA 30071	SUNCRS		NAIC # 38318
	INSURER A: Starr Indemnity & Liability Company		16535
	INSURER B: Zurich American Insurance Company		36940
	INSURER C: Indian Harbor Insurance Company		26387
	INSURER D: Steadfast Insurance Company		
	INSURER E:		
INSURER F:			

COVERAGES

CERTIFICATE NUMBER: 1123893969

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
D	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			GLO566106000	1/1/2025	1/1/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY			BAP016570008	1/1/2025	1/1/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 0			1000584810251	1/1/2025	1/1/2026	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	WC016569908	1/1/2025	1/1/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Professional Liab incl. Pollution Liability			PEC004706609	1/1/2025	1/1/2026	Per Claim \$1,000,000 Aggregate \$2,000,000 Pollution \$5M/\$5M

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

Sample Certificate

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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Membership Acknowledgement

SunCoast Restoration and Waterproofing, LLC

is committed to providing a safe and drug free work environment for all employees with the assistance of
The Council on Alcohol & Drugs'
Drug Free Workplace Program in Florida

June 27, 2019 - June 21, 2026



This does NOT replace the state of Florida Division of Workers' Compensation certification.

The Council's Drug Free Workplace Program delivers comprehensive materials for education, policy implementation, onsite testing solutions, treatment resources, EAP services & assistance in completing the application for premium credit program.